

**NOTICE OF DEVELOPMENT STANDARDS REVIEW TASK FORCE REGULAR MEETING  
CITY OF SOUTH PADRE ISLAND**

**TUESDAY, SEPTEMBER 12, 2023**  
10:00 AM AT THE MUNICIPAL BUILDING,  
CITY COUNCIL CHAMBERS, 2ND FLOOR  
4601 PADRE BOULEVARD, SOUTH PADRE ISLAND, TEXAS

1. Call to Order

2. Pledge of Allegiance

3. Public Comments and Announcements

*This is an opportunity for citizens to speak to the Task Force relating to agenda or non-agenda items. Speakers are required to address the Task Force at the podium and give their name before addressing their concerns. [Note: State law will not permit the Development Standards Review Task Force to discuss, debate or consider items that are not on the agenda. Citizen comments may be referred to City Staff or may be placed on the agenda of a future Development Standards Review Task Force meeting]*

4. Regular Agenda

- 4.1. Discussion and Action to approve minutes of the July 11, 2023 Regular Meeting.
- 4.2. Discussion and Action regarding a request by Dori Abo, property owner from Sec. 15-2 Definition and Sec. 15-2.1 Rules and procedures governing Art in Public Spaces. The applicant is proposing to install a 10'x20' waterfall to be attached to the existing building and extend the sidewalk to place concrete 22'x8'x12' white in color I Love SPI letters. (1900 Padre Blvd, Lots 1 - 3 block 10, Padre Beach Subdivision, Section I)
- 4.3. Discussion and Action regarding a request by Yehuda Azoulay from Sec. 15-2 Definition and Sec. 15-2.1 Rules and procedures governing Art in Public Spaces. The applicant is proposing to install three (3) Dolphins in front of Padre Best Beachwear building located at 6000 Padre Blvd, (Lot 1A Block 202, Fiesta Isles Subdivision (Padre Beach, Section XII))
- 4.4. Discussion and action regarding a request by AAA Electrical Signs for a variance from Section VIII Signage Standards, Monument Signs of the City's Padre Boulevard and Entertainment District Code. Applicant is requesting to install a sixteen (16') feet in height monument sign instead of the required six (6') feet in height as per the Form Base Code located at Coral Reef 5301 Padre Blvd. (Lot 8 Block 168, Padre Beach Subdivision, Section XI)

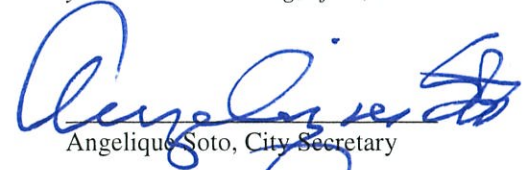


5. Adjourn

NOTE:

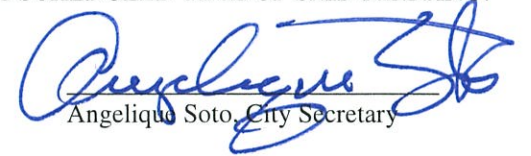
*One or more members of the City of South Padre Island City Council may attend this meeting; if so, this statement satisfies the requirements of the OPEN MEETINGS ACT.*

DATED THIS THE 8TH DAY OF SEPTEMBER 2023



Angelique Soto, City Secretary

I, THE UNDERSIGNED AUTHORITY, DO HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE DEVELOPMENT STANDARDS REVIEW TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS IS A TRUE AND CORRECT COPY OF SAID NOTICE AND THAT I POSTED A TRUE AND CORRECT COPY OF SAID NOTICE ON THE BULLETIN BOARD AT CITY HALL/MUNICIPAL BUILDING AND THE CITY WEBSITE WWW.MYSPI.ORG ON **THIS THE 8TH DAY OF SEPTEMBER 2023**, AT/OR BEFORE 5:00 PM AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF SAID MEETING.



Angelique Soto, City Secretary

THIS FACILITY IS WHEELCHAIR ACCESSIBLE, AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT BUILDING OFFICIAL, GEORGE MARTINEZ AT (956)761-8103.



**CITY OF SOUTH PADRE ISLAND  
DEVELOPMENT STANDARDS REVIEW TASK FORCE  
AGENDA REQUEST FORM**

**MEETING DATE:** September 12, 2023

**NAME & TITLE:** Marta Martinez

**DEPARTMENT:** Planning/Parks & Rec. Department

**ITEM**

Discussion and Action to approve minutes of the July 11, 2023 Regular Meeting.

**ITEM BACKGROUND**

Approve July 11, 2023 Meeting Minutes.

**BUDGET/FINANCIAL SUMMARY**

N/A

**COMPREHENSIVE PLAN GOAL**

N/A

**LEGAL REVIEW**

Sent to Legal:

Approved by Legal:

**RECOMMENDATIONS/COMMENTS:**

**MEETING MINUTES  
CITY OF SOUTH PADRE ISLAND  
DEVELOPMENT STANDARDS REVIEW TASK FORCE**

**TUESDAY, JULY 11, 2023**

**1. CALL TO ORDER**

The Development Standards Review Task Force Members of the City of South Padre Island, Texas held a Meeting on Tuesday, July 11, 2023 at the Municipal Complex Building, 2<sup>nd</sup> Floor, 4601 Padre Boulevard, South Padre Island, Texas. Vice-Chairman Gary Johnson called the meeting to order at 10:00 a.m. A quorum was present: Task Force Member Alex Avalos and Charles Fox. Task Force Members with an excused absence were Gabriel Vanounou and Cindi Love.

City staff members present were Public Works Director / City Engineer C. Alejandro Sanchez, Chief Building Official George Martinez, and Planning Coordinator Marta Martinez. Also present was City Council Member Ken Medders.

**2. PLEDGE OF ALLEGIANCE**

Vice-Chairman Johnson led the Pledge of Allegiance.

**3. PUBLIC COMMENTS AND ANNOUNCEMENTS.**

None

**4. REGULAR AGENDA**

**4.1 DISCUSSION AND ACTION TO APPROVE MINUTES OF THE JUNE 13, 2023 REGULAR MEETING.**

Task Force Member Fox made a motion, seconded by Task Force Member Avalos to approve the June 13, 2023 regular meeting minutes as submitted. The motion carried unanimously.

**4.2 DISCUSSION AND ACTION REGARDING A REQUEST BY ANN HUNSAKES AND STEFANI HARRISON FROM SEC. VIII SIGNAGE STANDARDS OF THE CITY'S PADRE BOULEVARD AND ENTERTAINMENT DISTRICT CODE AND SEC. 15-7 SIGN STANDARD OF THE CITY'S CODE OF ORDINANCE. THE APPLICANT IS REQUESTING A 10 X 10 MURAL ON THE NORTH WALL OF THE BUILDING LOCATED AT 2901 PADRE BLVD. (LOT 7 BLOCK 60, PADRE BEACH SUBDIVISION, SECTION V).**

Vice-Chairman Johnson announced the item from the agenda. Property owner Ann Hansaker and Mario Morales stated they are requesting approval for a mural to be located on the north wall of their building. Vice-Chairman Johnson then asked for a staff report. Chief Building Official George Martinez stated that the applicant is requesting to paint a sign on the north wall, which the City Code of Ordinance stated that wall signs cannot be painted directly to the walls or surface of any structure. The Task Force Members expressed their comments/concerns regarding the mural sign. Task Force Member Avalos made a motion to allow the wall sign on the north side of the building, and when Stripes puts up a canopy relocate the sign to the south wall. The motion died do to a lack of seconded. After much discussion, Vice-Chairman Johnson made a motion, seconded by Task Force Member Avalos to deny the proposed mural to be located on the north wall building, but was approved a wall sign on the north wall for one year from when permit is issued; then relocate wall sign to the south wall of building located at 2901 Padre Blvd. The motion carried unanimously.

#### **4.3 DISCUSSION AND ACTION REGARDING RECOMMENDATIONS TO THE CITY COUNCIL FOR ANY MODIFICATIONS TO THE DRAFT CHAPTER 15 SIGN ORDIANACE PREVIOUSLY REVIEWED BY THE ADHOC COMMITTEE.**

Vice-Chairman Johnson announced the item from the agenda and opened it up for discussion. Task Force Member Fox suggested a change in Sec. 15-5 (H) Pole Sign to Multi-Pole Sign, Single Pole Sign to match the definition. Public Works Director/City Engineer C. Alejandro Sanchez stated that the Adhoc Committee has reviewed this chapter, and asked the Task Force if they have any recommendations to forward to the City Council. Task Force Member Avalos then suggested that a process to inspect signs should also be included in this chapter. All Task Force Members were in favor of suggested changes/modifications. The motion carried unanimously.

#### **5. ADJOURN.**

There being no further business, Vice-Chairman Johnson adjourned the meeting at 10:51 a.m.

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Marta Martinez, Planning Coordinator

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Gary Johnson, Vice-Chairman

**CITY OF SOUTH PADRE ISLAND  
DEVELOPMENT STANDARDS REVIEW TASK FORCE  
AGENDA REQUEST FORM**

**MEETING DATE:** September 12, 2023

**NAME & TITLE:** Alex Sanchez, Public Works Director

**DEPARTMENT:** Planning/Parks & Rec. Department

**ITEM**

Discussion and Action regarding a request by Dori Abo, property owner from Sec. 15-2 Definition and Sec. 15-2.1 Rules and procedures governing Art in Public Spaces. The applicant is proposing to install a 10'x20' waterfall to be attached to the existing building and extend the sidewalk to place concrete 22'x8'x12' white in color I Love SPI letters. (1900 Padre Blvd, Lots 1 - 3 block 10, Padre Beach Subdivision, Section I)

**ITEM BACKGROUND**

Dori Abo property owner is requesting to install a waterfall to be attached to the existing building and to extend the sidewalk to place letters I Love (a red heart) SPI letters. The property is located on the east side corner of Padre Boulevard and Corral Street, and Lots 1 & 2 are zoned "PBS" Padre Boulevard South Character Zone of the City's Padre Boulevard and Entertainment District - Form Based Code and Lot 3 is zoned "B-2" Residential and Multi-family District of the City's Code of Ordinances.

**BUDGET/FINANCIAL SUMMARY**

N/A

**COMPREHENSIVE PLAN GOAL**

N/A

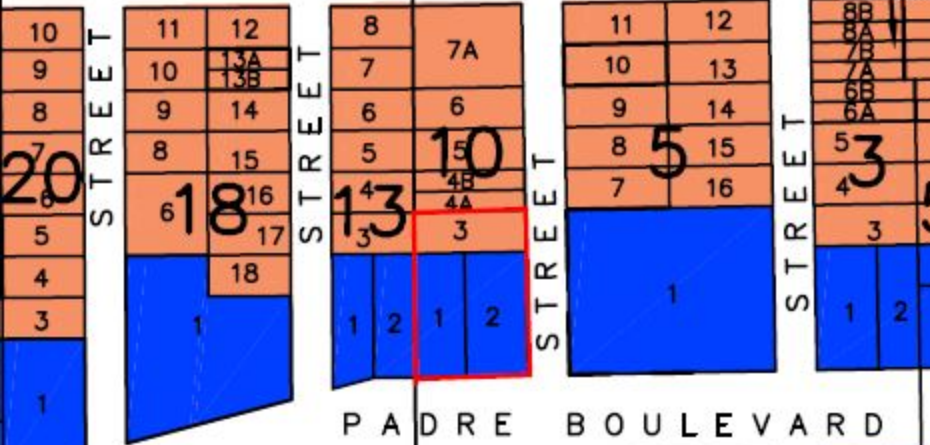
**LEGAL REVIEW**

Sent to Legal:

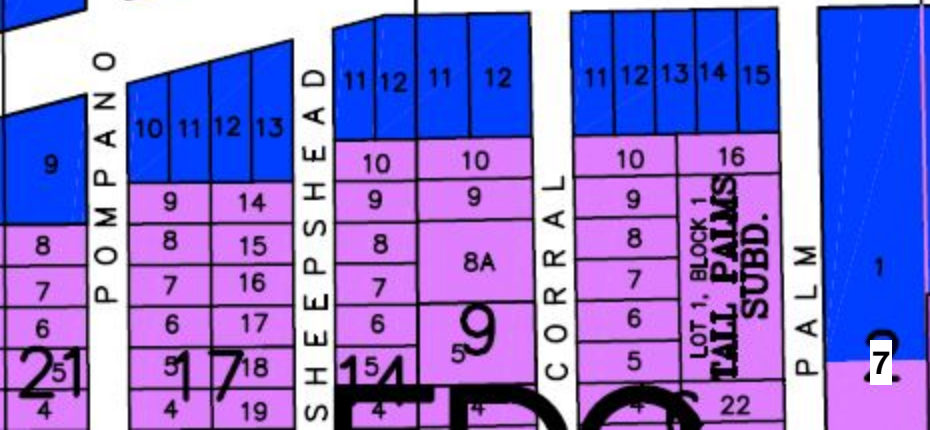
Approved by Legal:

**RECOMMENDATIONS/COMMENTS:**

GULF BOULEVARD



PADRE BOULEVARD



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## Sec. 15-2. Definitions.

For purposes of this Ordinance, the following definitions shall apply:

*Abandoned Sign* means a sign which no longer correctly directs or exhorts any person, advertises a bona fide business or service provided, lessor, owner, project, activity conducted, or product available on the premises where the sign is displayed. (A temporary closing of a business, not to exceed 90 days, shall not be considered an abandoned sign.)

*Airborne Sign* means sign on a balloon, flag, pennant, or inflatable sign.

*Altered* means a change of copy, logo, or other means in which the message is changed or enlarged, changing shape or location.

*Animated Sign* means any sign which includes action or motion.

*Art* includes, but is not limited to, a sculpture, monument, mural, fresco, painting, fountain, mosaic, ceramic, carving, but does not include landscaping, architectural ornamentation, or any type of sign.

*Art in Public Spaces* means Art located in places easily seen by the public, but which has no direct commercial connection to the structure or location in which the Art is located.

*Average Grade* means the grade of the finished ground level at the midpoint of each exterior surface of a sign, or a structure, in the event that the sign is attached to the structure. The height of a sign shall be computed as the distance from the base of the sign at normal grade to the top of the highest attached component of the sign. Normal grade shall be construed to be the lower of existing grade prior to construction or the newly established grade after construction, exclusive of any filing, berming, mounding, or excavating solely for the purpose of locating the sign. In cases in which the normal grade cannot reasonably be determined, sign height shall be computed on the assumption that the elevation of the normal grade at the base of the sign is equal to the elevation of the nearest point of the crown of a public street or the grade of the land at the principal entrance to the principal structure of the zone lot, whichever is lower.

*Banner* means a temporary sign made of fabric, plastic, paper, or other light, pliable, or non-rigid material, not enclosed in a rigid frame (not including a "fabric sign" as defined herein).

*Billboard* means any sign that is freestanding or attached to or part of a building and is an off-premises sign.

*Building Face or Wall* means all window and wall area of a building in one plane or elevation.

*Business Information Sign* means a sign that is permanently and professionally attached to a door or window at the entrance of a business that contains information that may include the Business Name, Address, Phone Numbers, Hours of Operation, and Trade Associations the Business is a member of, e.g. FDIC, SBA, etc. All of the information must be located within the maximum Area of Sign for Business Information Sign as defined in Table 15-1. A Business Information Sign is not a Window Sign or a Wall Sign.

*Canopy* means any structure attached to a building at the inner end or a free-standing structure, with one or more supports, meant to provide shelter from the weather.

*Changeable Copy Sign (Manual)* means a sign on which copy is changed manually in the field, i.e., reader boards with changeable letters or changeable pictorial panels.

*Changeable Copy Sign (Automatic)* means a sign such as an electronically or electrically controlled public service time, temperature and date sign, message center, or reader board where different copy changes are shown on the same lamp bank.

*Charitable Project or Benefit* means proceeds must be for a qualified 501C entity pursuant to the Internal Revenue Code.



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*Commercial Art* means art on commercially-used structures which draws attention from the ROW and which identifies or advertises a product or business. Since this type of art is intentionally located and chosen to draw attention to the store and/or store products, the square footage of the art will be counted towards maximum signage area requirements.

*Commercial Sign* means a sign other than a real estate "For Sale" or "For Lease" sign, "Open House" sign, political sign, residential nameplate sign, public information sign, traffic control sign, temporary new business opening sign, or exempted sign, which directs the attention of the general public to a business, product, service, or other commercial or business activity.

*Conforming Sign* means signs built and maintained in accordance with the terms of this Ordinance.

*Contractor's Sign* means a sign intended to identify a contractor or subcontractor on the site of a construction project where the contractor or subcontractor is conducting work.

*Copy* means the wording or graphics on a sign surface.

*Erect* means to build, construct, alter, reconstruct, pour, lay, move upon, attach, hang, place, suspend or affix, and also includes the painting of wall signs, murals or super graphics, or any physical operations on the premises which are required for the construction of a sign including excavation, site clearance, landfill and the like.

*Fabric Sign* means a sign made of fabric or other non-rigid material, enclosed in a permanent frame and erected as a permanent, on-site sign for a business, service, product, or person.

*Facade* means the front or main part of a building facing a street.

*Face of Sign* means the entire area of a sign on which copy could be placed. The area of a sign which is visible from one direction as projected on a place.

*Flashing Sign* means any sign which contains an intermittent or flashing light source, or which includes the illusion of intermittent or flashing light by means of animation or an extremely mounted intermittent light source.

*Freestanding Sign* means any sign which is not attached to or on the walls, face, or exterior of a building.

*Future Project Development Signs* means those temporary signs announcing a future business or development on the site which the sign is located. Future Project Development Signs should be allowed only on the site which the project will be located and for only one (1) year. After which time the owner may apply for an extension (but only one extension) of the sign permit for one (1) additional year, but only if the permit holder shows progress in the development of the site.

*Grand Opening* means the initial opening of an entirely new business.

*Ground level* means the immediate surrounding grade.

*Height of Sign* means the vertical distance measured from the surrounding grade to the highest point on the sign or sign structure.

*High Rise Building* means a structure of more than Six (6) stories in height.

*Illegal Sign* means signs existing on the effective date of the adoption of this Ordinance which are not registered in accordance with the terms of Subsection 15-3A shall be categorized as illegal.

*Image Sign* means a two dimensional picture/poster used in lieu of models or actual merchandise displays, displayed through a window, and which has no wording other than trademark or brand name/brand logo. For example means portraits and brand name posters/product pictures portraying models wearing/using products; model wearing Nike swimming apparel or a model using a boogie board.

*Indirect Lighting* means a light source separated from the surface and illuminating the sign surface by means of spot lights or similar fixtures.

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*Joint Directory Sign* means a sign which consists of a composite of several individual signs identifying the businesses located in a commercial or office complex.

*Landscaping* for the purposes of this Ordinance, landscaping shall include any combination of shrubs, vines, hedge plantings, plants, trees or palms located in a planting area at the base of the sign. For the purposes of this chapter, the term "landscaping" shall not mean solely turf or grass, or the total absence of vegetable matter.

*Legally Non-Conforming* means signs existing on the effective date of the adoption of this Ordinance which are not in conformance with the Ordinance but which are registered with the Building Department in accordance with the terms of Section 15-3, shall be categorized as legally non-conforming.

*Legally Non-conforming Art and Art in Public Spaces* means "Art" and "Art in Public Spaces," as defined herein, lawfully existing on the effective date of this Ordinance, which do not fully comply or do not conform with the Ordinance.

*Logo* means a letter, character, or symbol used to represent a person, corporation, or business enterprise.

*Lot* means a parcel, tract, plot or area of land accessible by means of a street or other permanently reserved principal means of access. It may be a single parcel separately described in a deed or plat, or it may include parts of or a combination of such parcels when adjacent to one another and used as a whole.

*Major Corporate Sponsor* means the sponsor of a public event, listed on all advertising and other public promotions, resulting from the contribution of funds, equipment, products, and/or in-kind services to the event.

*Marquee* means any permanent roof-like structure at the entry to a building, which projects beyond the building or extends along and projects beyond the wall of the building, and which generally contains a commercial message(s), and is designed to provide protection from the weather.

*Minimum Sight Triangle* means a triangular area bounded by the right-of-way lines of a corner lot and a line connecting the two points on the right-of-way lines measured twenty (20) feet from the point of intersection of the right-of-way lines. For ingress/egress points and private roads, the minimum sight triangle shall be determined using the intersection of the curb line or edge of pavement for the ingress/egress point or private road and the public right-of-way.

*Monument Sign* means a freestanding sign, other than a pole sign, which has a skirt, dressed base, or other means of enclosing the structural members which support the sign, and which skirting or dressing has been approved by the Development Standards Review Task Force base must equal at least Fifty Percent (50%) of sign width and not to exceed One Hundred Twenty Percent (120%) of the width of the sign for signs up to Eight (8) feet in height. For signs proposed to be taller than Eight (8) feet in height, the width of the of the approved skirting or dressing must equal a minimum of Fifty Percent (50%) of the sign width, but shall in no case exceed Four (4) feet in width. For the purposes of this Ordinance, the terms "skirting" and/or "dressing" shall mean the enclosing of the structural members which support the sign with materials such as decorative masonry, natural and decorative stone, masonry with a stucco finish, and decorative wood such as redwood or cedar when appropriately finished to prevent decay and discoloration; no skirting may be made from metal or plastic materials. No signage is permitted on the skirting except street address.

*Multi-Pole, Single Pole Sign* means a sign whose only structural support consists of exposed poles, posts, beams, or other devices mounted in the ground.

*Office Complex/Multi-Tenant Shopping Center* means two (2) or more offices or stores sharing customer parking area, regardless of whether said offices or office establishments occupy separate structures or are under separate ownership.

*Official Sign* means any sign erected by or at the direction of any governmental body.

*Off-Premises Sign* means any sign other than an on-premises sign.

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*On-Premises Sign* means a sign which advertises only goods, services, facilities, events or attractions available on the premises where located, or identifies the owner or occupant or directs traffic on the premises. All other signs are off-premises signs.

*Owner* means a person recorded as such on official records and including duly authorized agent, notary, purchaser, lessee, devisee, or judiciary; anyone having a vested or contingent interest in the property or business in question.

*Painting* means the application of paint in the course of normal maintenance which in no way shall alter the message or group of works or letters.

*Parasite Sign* means any sign not exempted by the sign code, for which no permit has been issued, and which is hung from, attached to, or added onto an existing sign.

*Permanent Multi-Family or Subdivision Identification Sign* means a sign which designates the name of a project, subdivision, or other residential district, and which is located at or in close proximity to the main entrance.

*Person* means any natural person, firm, partnership, association, corporation or organization of any kind.

*Place of Business* means one enclosed structure with a Certificate of Occupancy regardless of the number of commercial uses within. For the purposes of this chapter regulating signage, each place of business must be separated from other places of business with non-penetrable walls in such a manner that the public must enter and/or exit the business through an exterior door.

*Political Sign* means any sign which is designated to influence the action of voters for the passage or defeat of a measure appearing on the ballot in connection with any national, state or local election.

*Portable Sign* means any sign not permanently affixed to a building, structure or the ground, and designed or constructed in such a manner that it can be moved or relocated without involving any structural or support changes. This definition includes, but is not limited to, A-frame signs, sandwich signs, curb signs, sail flag signs, feather flag signs and signs on trailers with or without wheels or on other vehicles which are primarily used as signs.

*Premises* means an area of land, with its appurtenances and buildings, which, because of its unity of use, may be regarded as the smallest conveyable unit of real estate.

*Project Development Sign* means a temporary sign for a commercial or multi-family tract during the construction of the proposed development which may identify a project under construction and includes the project's name and address, general contractor, architect, financing, and contact agent, with appropriate phone numbers. These signs should not be allowed until or unless the property owner receives a Building Permit for the site, and should be removed either immediately after receipt of the Certificate of Occupancy or immediately after the expiration or revocation of a Building Permit. (see also Future Project Development Sign)

*Projecting Sign* means a wall-mounted sign, erected in lieu of the permitted, free-standing monument sign, which projects from the face of a structure, meeting the following requirements:

- (1) The sign shall be pinned away from the wall of the structure a minimum of six (6) inches.
- (2) The sign shall not extend over any adjacent right-of-way or property line.
- (3) Projecting signs shall be designed as an integral architectural element of the building to which it principally relates. The mounting brackets of such signs will be an integral part of the sign and complementary to the design of the sign. No projecting sign shall be entirely supported by an unbraced parapet wall.
- (4) No unshielded lights will be permitted. All lighting fixtures shall be placed in such a way as they will not be struck or otherwise damaged by the sign in the event of high wind.
- (5) Projecting signs shall be designed to meet the wind resistance requirements of Section 15-10.

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*Public City Art* means Art as reviewed and approved by the Development Standards Review Task Force, which is created by a recognized artist and displayed in or on property owned or leased by the City of South Padre Island.

*Public Information Sign* means any sign or banner which is intended to identify community, civic and social events, special events, facilities, no-trespassing areas and is not a commercial sign or official sign as defined herein.

*Reader Board* means a sign that has changeable or removable lettering.

*Real Estate "For Sale," "For Lease," or "Open House" Sign* means a temporary sign designating that the premises upon which it is erected is for sale, rent, or lease or that an open house is being held on the day on which the sign is displayed.

*Reflective Surface* means any material or device which has the effect of intensifying reflected light, including, but not limited to, scotch light, day glow, glass beads and luminous paint.

*Required Signs* means any sign required by law for the protection of the general health, safety and welfare of the public. For the purposes of this Ordinance, numbers attached to the front plane of a facing and visible from the adjacent public right-of-way or private ingress/egress for the purpose of identifying the street address of the structure shall be considered a required sign. Such numbers shall be a minimum of four (4) inches in height, shall be of a color in distinct contrast to the color of the wall to which it is attached, and shall be plainly visible from the adjacent public right-of-way or private ingress/egress.

*Residential Nameplate Sign* means a sign permitted for the sole purpose of identifying the inhabitant residing therein, the house name, or identifying the address of the house. The sign may contain no advertising of any kind.

*Roof Line* means the highest point of the coping on a flat roof, false mansard, or parapet wall; the decline of a true mansard roof; the ridge line between the upper and lower slopes of a gambrel roof; or the mean height level between the eaves and the ridge of a gable or hip roof.

*Roof Sign* means a sign attached to, and wholly or partially dependent upon, the roof of a structure for support, or attached to the roof in any way, but not extending above the roof line, as defined by this Ordinance. Such signs will be completely enclosed between the sign and the corresponding roof, and shall be designed to meet the wind resistance requirements of Section 15-10.

*Sign* means any thing of visual appearance primarily used for, or having the effect of, attracting attention from the streets, sidewalks, curbside or any other public areas including waterways for identification purposes, whether illuminated or non-illuminated. An identification logo, description, illustration or device which is affixed to or represented directly or indirectly upon a building, structure or land, and which directs attention to a product, place, activity, person, service, institution or business, whether illuminated or non-illuminated. For the purposes of removal, the definition of "sign" shall include all of the sign structure. For the purposes of this Ordinance, this definition shall also include paintings directly upon a building, other structure or vehicle and any manufacture incorporated or added to a building or property that is not a normal structural or architectural component of a building shall be considered a "sign" (i.e. to attract attention from public right-of-way) and must comply with all the commercial sign regulations of this Chapter pertaining to either a monument sign or a projecting sign. (Ord. 02-14; Nov. 20, 2002) The basic intent behind this definition is not to discourage product displays, design, or art from epitomizing simplicity, good taste, and compatibility with the community's desired image.

*Sign Area* means the area of a sign face (which is also the sign area of a wall sign or other sign with only one face) shall be computed by means of the smallest square, circle, rectangle, triangle, or combination thereof that will encompass the extreme limits of the writing, representation, emblem, or other display, together with any material or color forming an integral part of the background of the display or used to differentiate the sign from the backdrop or structure against which it is placed, but not including any supporting framework, bracing, or decorative fence or wall when such fence or wall otherwise meets zoning ordinance regulations and is clearly incidental to the display itself. The sign area for a sign with more than one face shall be computed by adding together the area of all sign faces visible from one point. When two identical sign faces are placed back to back, so that both faces cannot be viewed from any point at the same time, and when such sign faces are part of the same

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sign structure and are not more than 42 inches apart, the sign area shall be computed by the measurement of one of the faces. For buildings that are not on public rights-of-way and/or near to property boundaries (e.g. building structures on a pier), sign areas shall be calculated on the basis of the most visible building frontage.

*Sign Structure* means the sign and all parts associated with its construction.

*Snipe Sign* means a sign which is tacked, nailed, posted, pasted, glued or otherwise attached to trees, utility poles, stakes, or fences or to other objects, and whose message is not associated with the premises upon which such sign is located.

*Suspended Sign* means a sign, other than a parasite sign, that is suspended from and supported by the underside of an awning, a marquee, a fascia, an umbrella, or a building overhang.

*Temporary Signage* means a sign erected for a special purpose and for a specifically stated short term of duration, as regulated by Sections 15-6(G), 15-7, and 15-12. Temporary signage may include such otherwise prohibited forms of signage as portable signs [Section 15-5(E)] and banners [Section 15-5(F)].

*Traffic Control Sign* means a permitted sign for the purpose of identifying parking areas and directing the flow of traffic on private property.

*Umbrella* means a device, often round or square in shape that is supported by a center pole that provides shade or protection. For purposes of this article, any device, structure, canopy, etc. that is handheld, or that is totally or partially enclosed, or that projects from or is connected to a building shall not be deemed to be an umbrella.

*Umbrella Sign* means a sign that is painted, installed, or otherwise applied to or located directly on an umbrella at an establishment. The sign, which is a combination of letter and/or logo, height is limited to 8 inches. Signage may only be displayed on the flap of the umbrella that is maximum 8 feet in diameter and 8 feet in height. Umbrella that is larger than the size limit shall not have any signs on it. The copy on an umbrella sign is limited to the name and/or logo of a single appurtenant business/residential establishment. For purposes of this article, signs that are suspended from umbrellas (suspended signs) shall not be considered to be umbrella signs. Suspended signs are prohibited.

*Wall Sign* means a sign attached to, painted on, or erected against the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall and not projecting more than Nine (9) inches from the face of the wall at any point.

*Window Sign* means a sign-printed, painted, neon or otherwise—no greater than thirty-two (32) square feet, displayed in or through a window or glass door and which can be seen from the front property line/right-of-way line. All windows signs except open or closed, name of store or business and national product logos (Image signs are permitted) are prohibited after February 1, 2012.

(Ord. No. 10-02; Ord. No. 04-03, 3-17-2004; Ord. No. 05-13; Ord. No. 20-09 , §§ 1, 2, 4, 10-21-2020)

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**Sec. 15-2.1. Rules and procedures governing art in public spaces.**

- (A) All applications for approval to install, erect, or in any manner display art in public spaces must comply with all Rules and Regulations listed below.
- (1) The proposed art must not be attached to any type of structure and must be a minimum of five (5) feet from any type of structure.
  - (2) The total maximum size of the proposed art, including any base or stand shall be eight (8) feet in height, three feet (3) in width with a maximum depth of three (3) feet.
  - (3) All proposed Art must be a minimum of five (5) feet from any City, State, or any other right-of-way.
  - (4) All proposed Art must comply with all other City Codes.
  - (5) All applications for Art in Public Spaces must be reviewed by City Staff and approved by the Development Standards Review Task Force, with appeal rights, if denied, as outlined in Section 15-14. The Development Standards Review Task Force has the authority to grant variances in accordance with Section 15-14.
  - (6) All proposed Art in Public Spaces must be directly related to, and compatible with the local area theme and the immediate local environment.
  - (7) All proposed Art in Public Spaces must comply and meet the definition of "Art" in Section 15-2.
  - (8) All proposed Art in Public Spaces shall be created by a recognized artist.
  - (9) All applicants and all persons or entities shall be limited to one display of Art in Public Spaces per location.
  - (10) All proposed Art in Public Spaces shall not be allowed to involve or contain any kind of movement or vibration of any kind, and must be stationary.
  - (11) All proposed Art in Public Spaces shall not involve or contain any type of lighting, illumination, or lasers, except for some type of spot lighting to allow the display to be visible in the dark.
- (B) (1) Approved Art in Public Spaces shall not be counted towards maximum signage area requirements.
- (2) Art in Public Spaces shall not have any direct commercial connection to the structure or location in which the Art is located and cannot be used for any type of advertising.
  - (3) The Development Standards Review Task Force shall have the discretion to approve or deny an application to display Art in Public Spaces and has the authority to grant variances in accordance with Section 15-14.

(Ord. No. 20-09 , § 3, 10-21-2020)

CITY OF SOUTH PADRE ISLAND



Development Standards Review Task Force Application
Meeting date on the 2nd Tuesday of every month.
To be considered a complete application this form must be COMPLETELY filled out and ten (10) copies of the form and supporting documentation must be submitted two (2) weeks before the meeting date. \$250 application fee per variance request.

SITE LOCATION FOR REQUEST:

Physical Address (Street Name & Number): 1900 PADRE BLVD

Legal Description (Lot/Block/Subdivision):

Is this property part of a shopping center (i.e. one tenant of many?) [ ] YES / [ X ] NO

Linear footage of any walls facing a street:

I hereby request the following from the Development Standards Review Task Force: We

will be building a waterfall and concrete lettering using the plans that have been provided.

\*SIGNS & STRUCTURES: person pulling sign permit is required to have a \$10,000 license and permit bond made out to the City of South Padre Island.

PROPERTY OWNER: ALIZA ABO

OWNER MAILING ADDRESS: DOLT-ABO@HOTMAIL.COM

CITY, STATE, ZIP: 1900 PADRE BLVD SOUTH PADRE ISLAND 78597

PHONE NUMBER: 956-433-6783 (E-mail address)

Signature of Property Owner (required)

8-23-23 Date

APPLICANT: DOLT ABO gonzalezconstruction97@yahoo

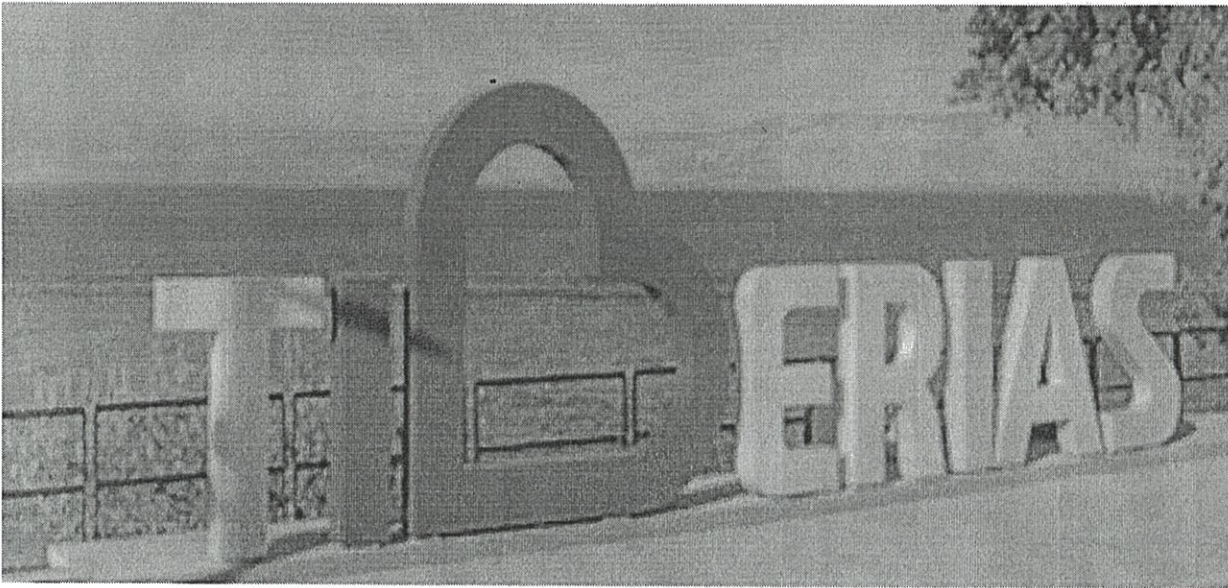
APPLICANT MAILING ADDRESS: 1900 PADRE BLVD

CITY, STATE, ZIP: SOUTH PADRE ISLAND TX 78597

PHONE NUMBER: 956-433-6783 (E-mail address) DOLT-ABO@HOTMAIL.COM

Signature of Applicant (if different from owner)

8-23-23 Date



color white  
heart red



22 ft L  
~~12 ft L~~  
8 ft H  
12 IN w

**SPI**

**Received**

AUG 18 2023

CITY OF SOUTH PADRE ISLAND  
PLANNING DEPARTMENT

all the letters are going to be made with 3/8 rebar and plastic mesh. concrete for detail and anchored to the floor.



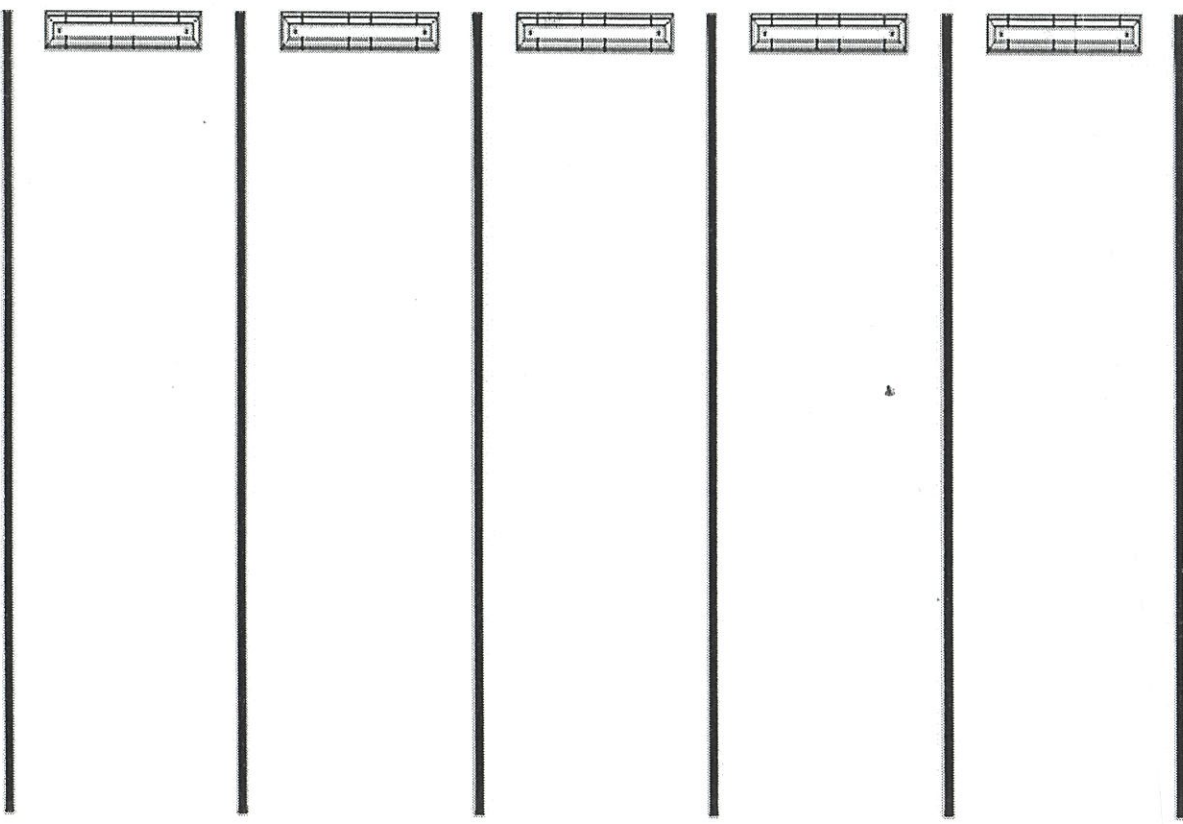
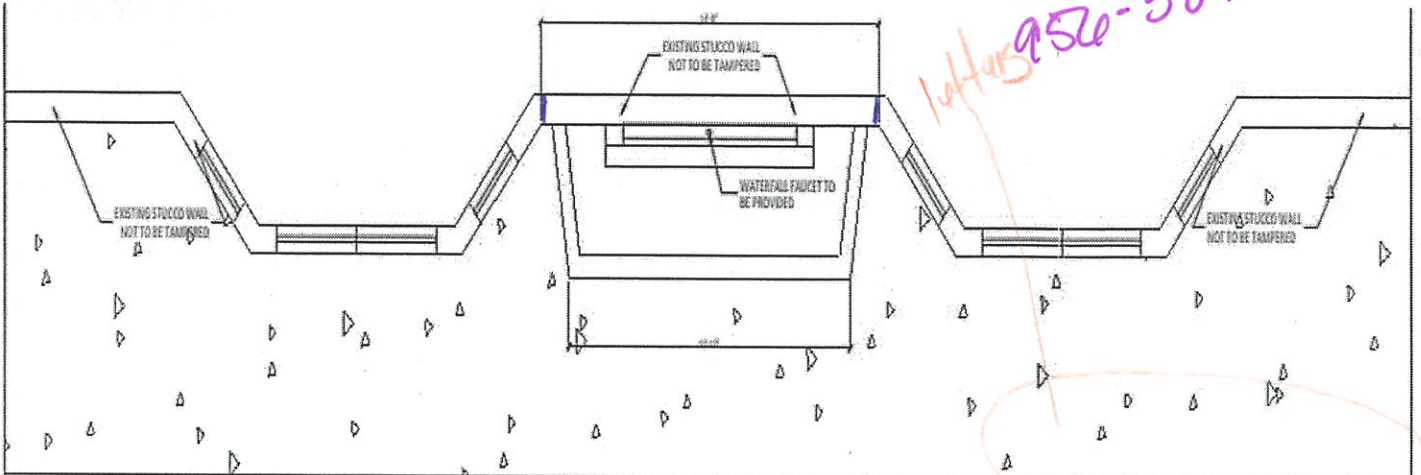


1 of 1

1900 Padre Blvd  
ASL-433-6783

UNIFORMS  
1400  
Gustavo Gonzalez  
ASL-589-0575

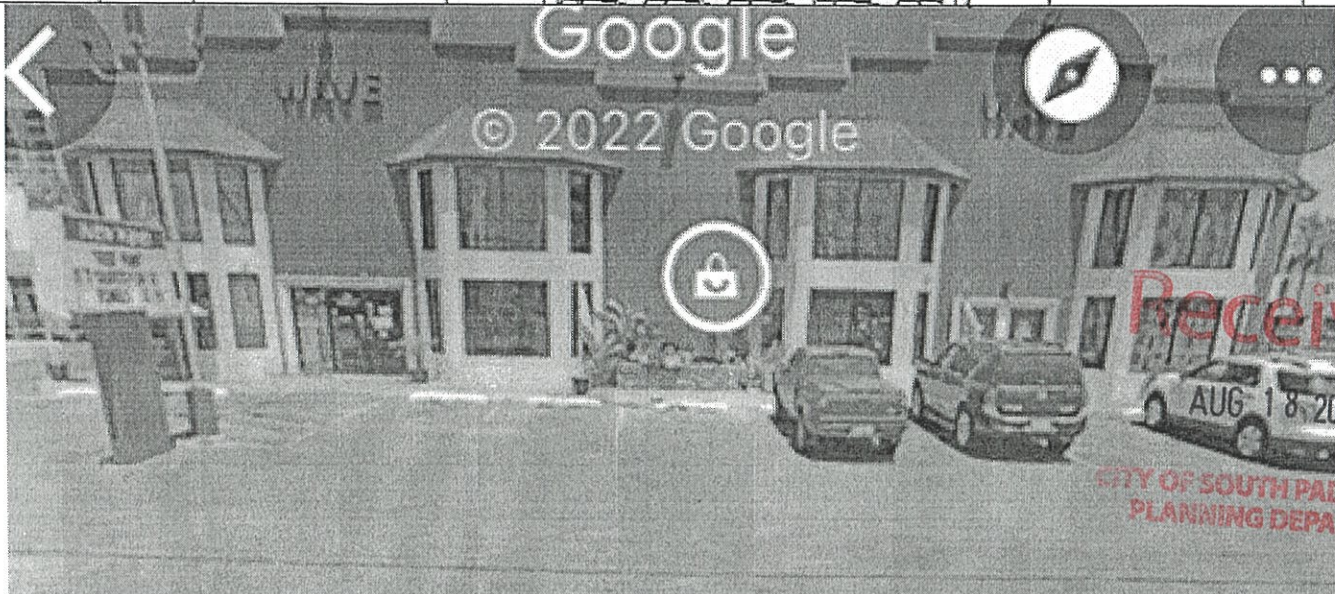
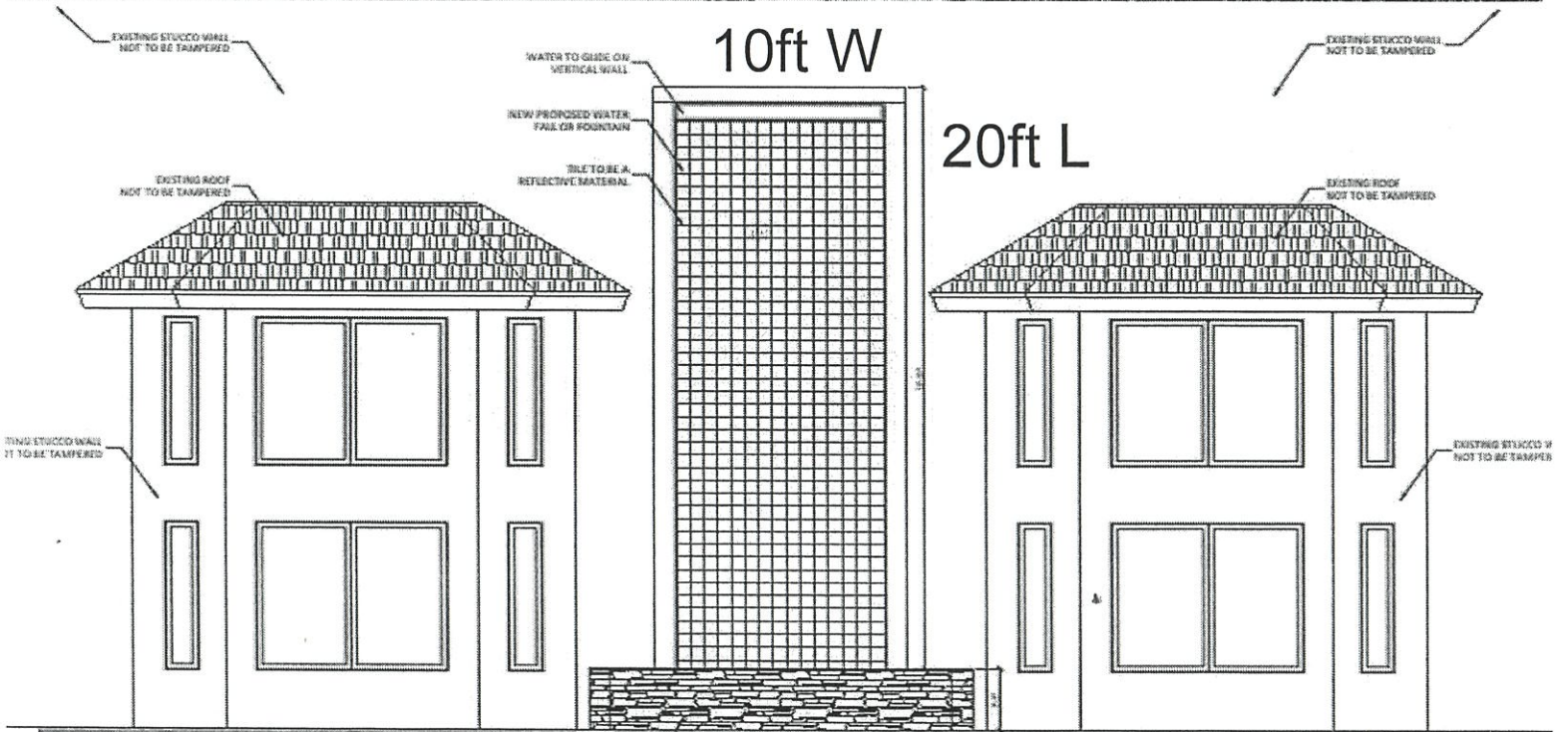
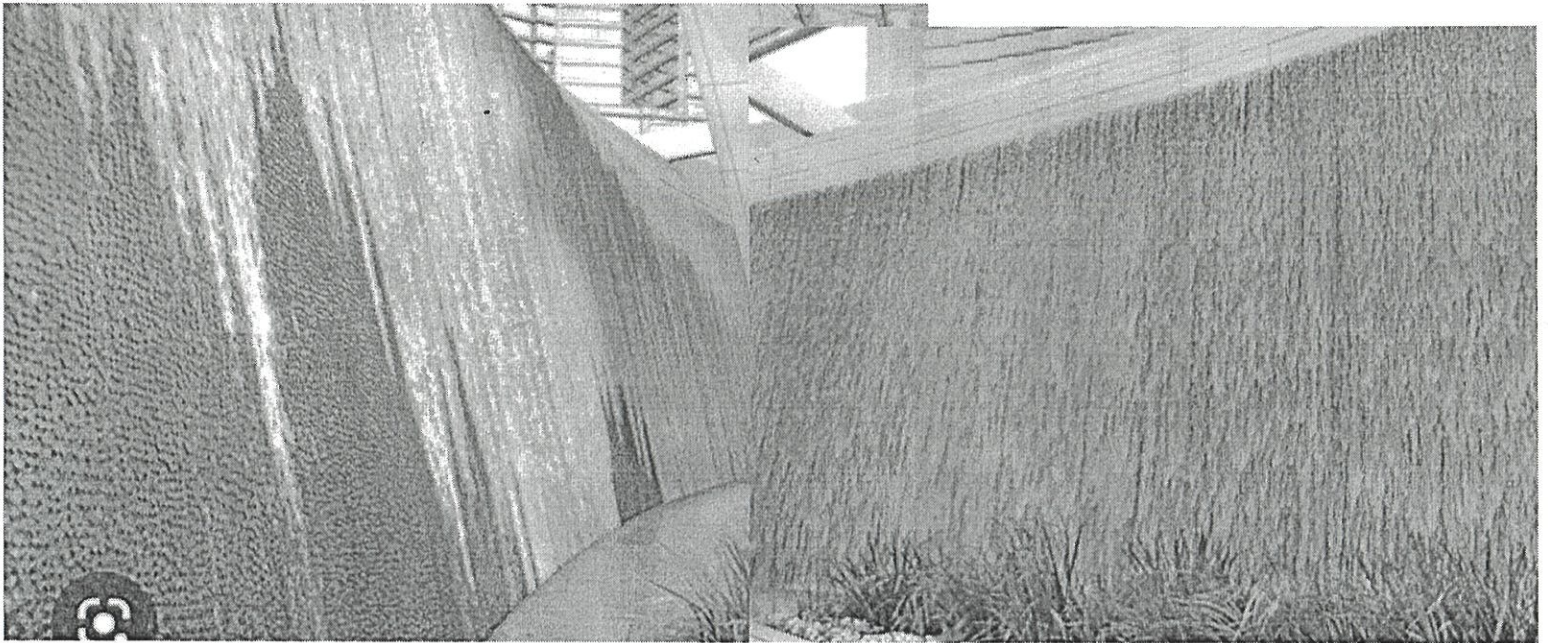
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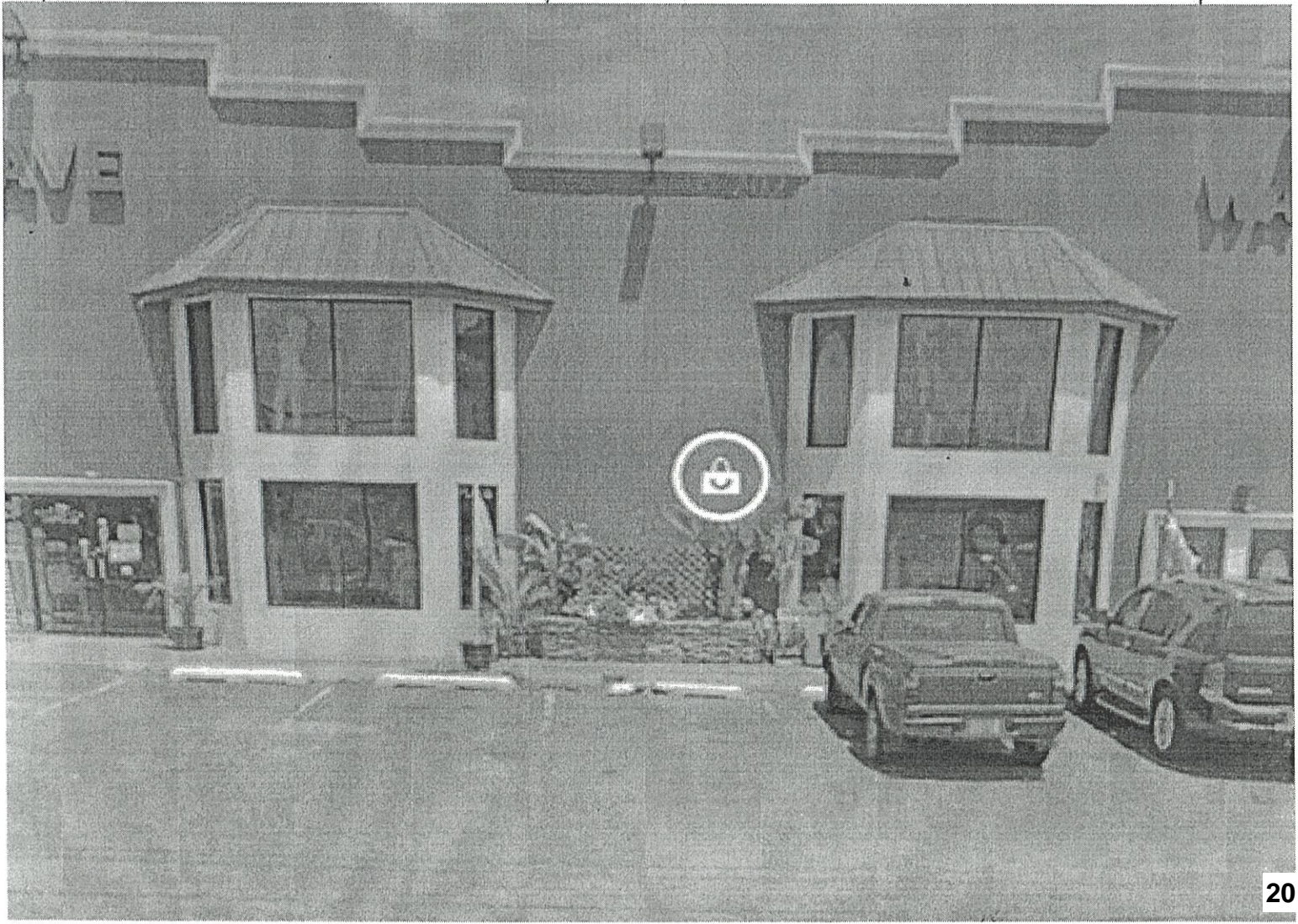
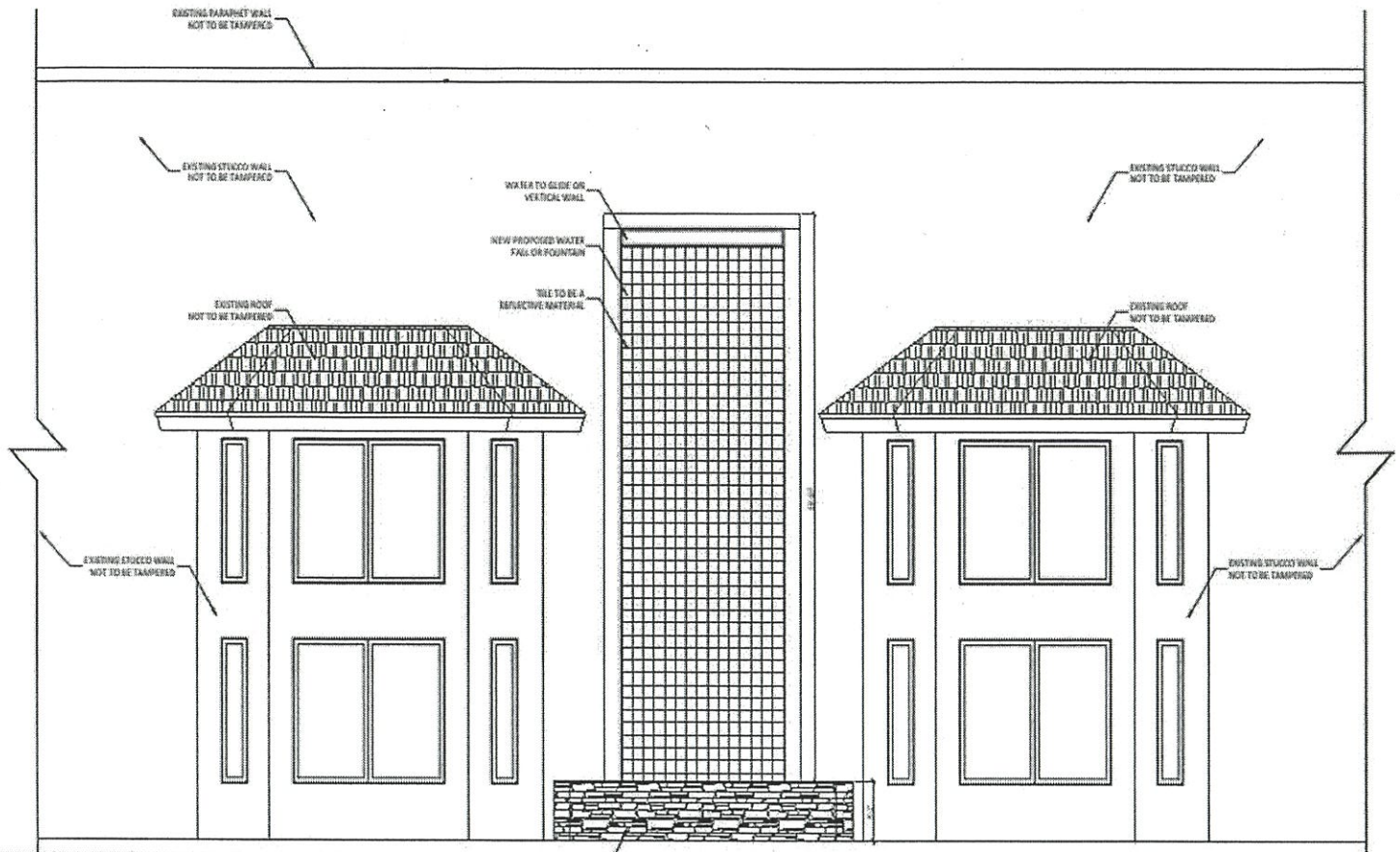


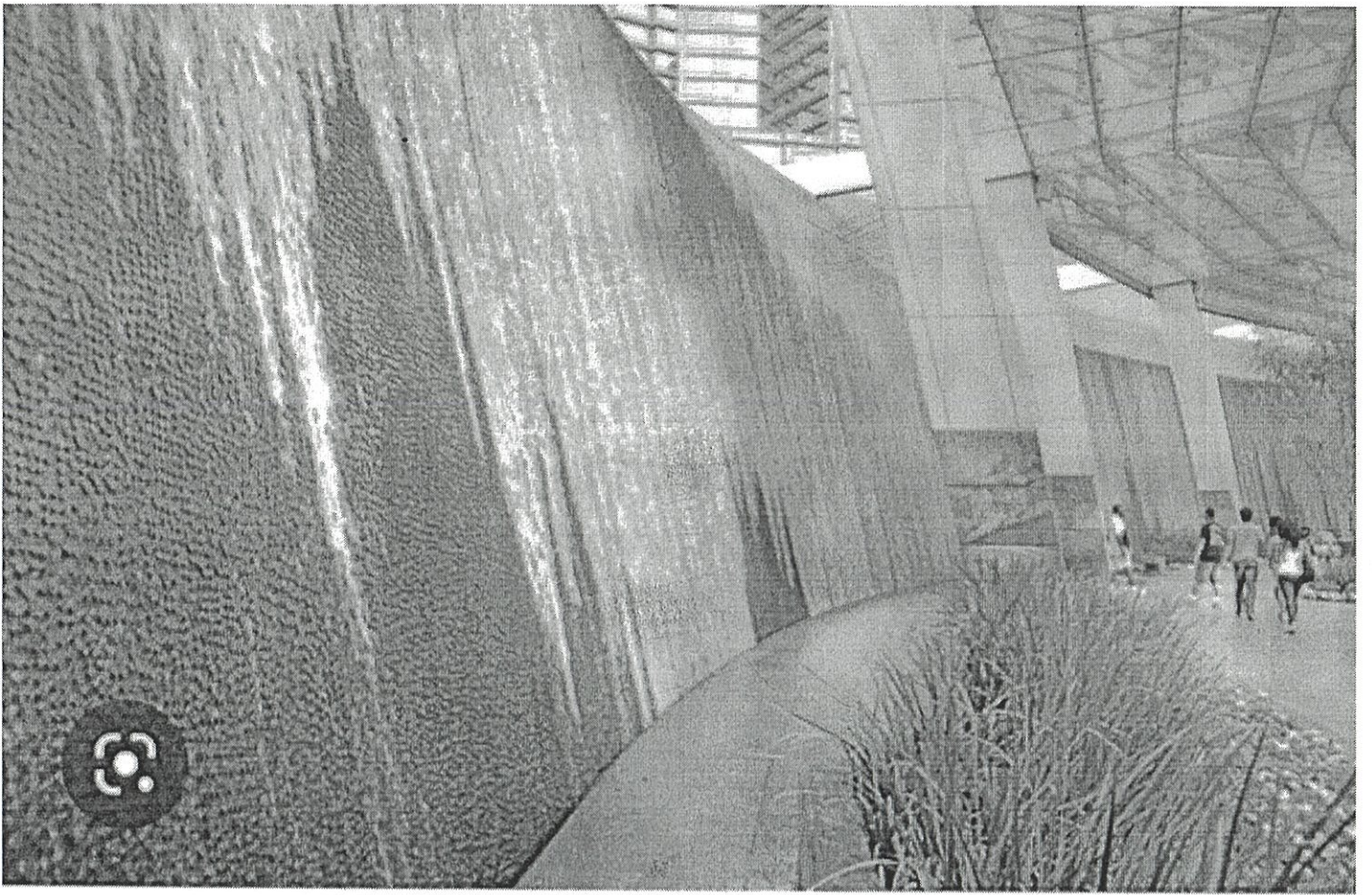
Received

AUG 18 2023

CITY OF SOUTH PADRE ISLAND  
PLANNING DEPARTMENT





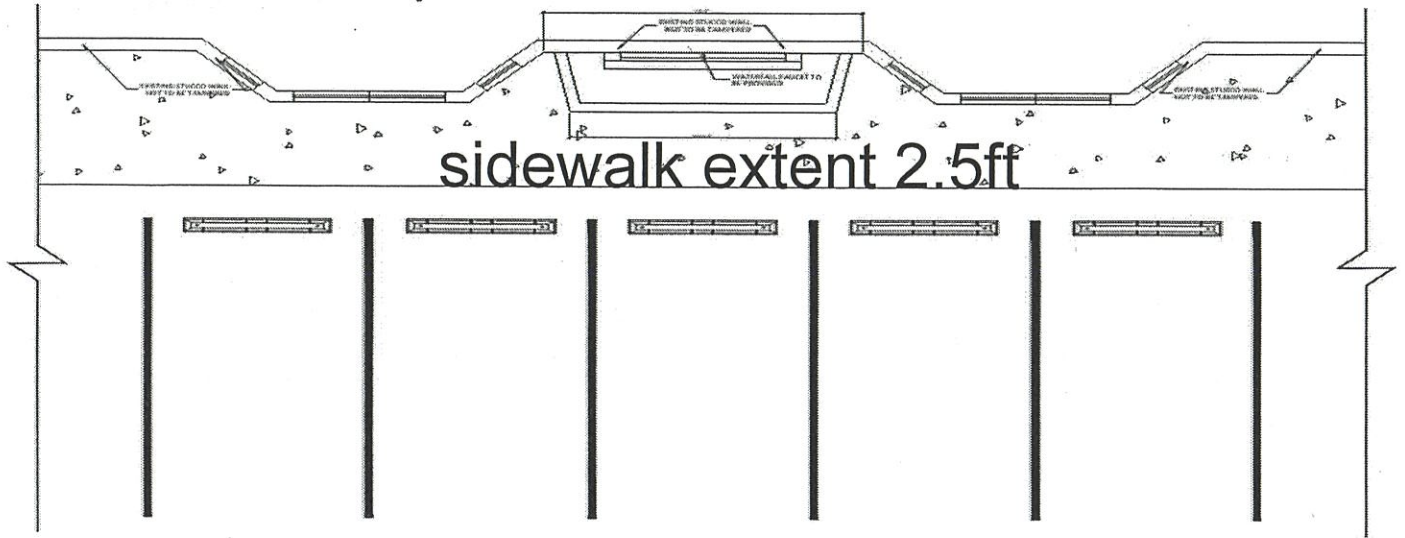


**Received**

AUG 18 2023

**CITY OF SOUTH PADRE ISLAND  
PLANNING DEPARTMENT**

1 of 1



will not effect parking spaces



**CITY OF SOUTH PADRE ISLAND  
DEVELOPMENT STANDARDS REVIEW TASK FORCE  
AGENDA REQUEST FORM**

**MEETING DATE:** September 12, 2023

**NAME & TITLE:** Alex Sanchez, Public Works Director

**DEPARTMENT:** Planning/Parks & Rec. Department

**ITEM**

Discussion and Action regarding a request by Yehuda Azoulay from Sec. 15-2 Definition and Sec. 15-2.1 Rules and procedures governing Art in Public Spaces. The applicant is proposing to install three (3) Dolphins in front of Padre Best Beachwear building located at 6000 Padre Blvd , (Lot 1A Block 202, Fiesta Isles Subdivision (Padre Beach, Section XII))

**ITEM BACKGROUND**

Yehuda Azoulay property owner is proposing to install three Dolphins in front of his existing building. The property is located on the east side corner of Padre Boulevard and Sunset Drive and is zoned "NC" Neighborhood Crossing Character Zone of the City's Padre Boulevard and Entertainment District - Form Based Code.

**BUDGET/FINANCIAL SUMMARY**

N/A

**COMPREHENSIVE PLAN GOAL**

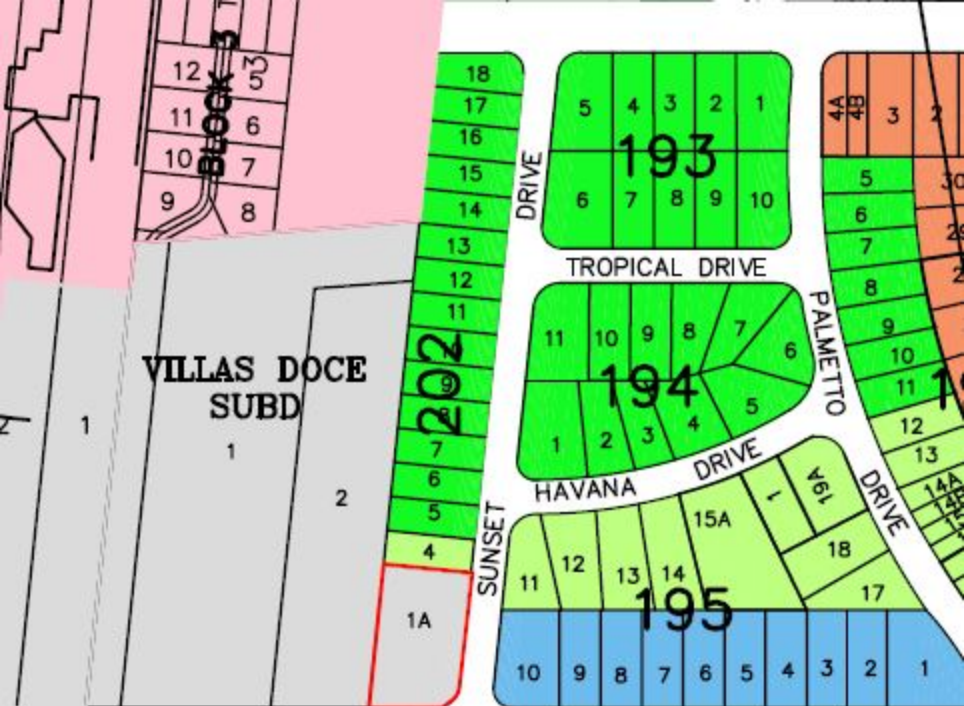
N/A

**LEGAL REVIEW**

Sent to Legal:

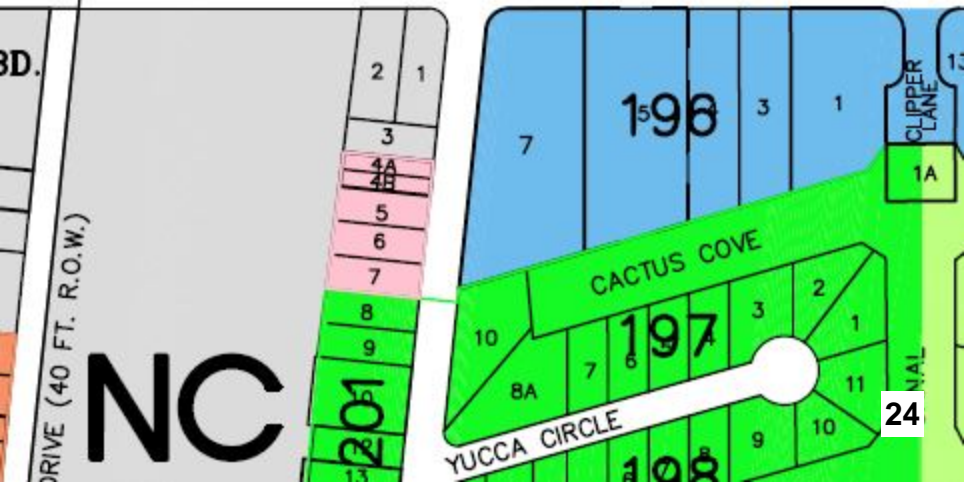
Approved by Legal:

**RECOMMENDATIONS/COMMENTS:**



VILLAS DOCE  
SUBD

PADRE BOULEVARD



NC

DRIVE (40 FT. R.O.W.)



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## Sec. 15-2. Definitions.

For purposes of this Ordinance, the following definitions shall apply:

*Abandoned Sign* means a sign which no longer correctly directs or exhorts any person, advertises a bona fide business or service provided, lessor, owner, project, activity conducted, or product available on the premises where the sign is displayed. (A temporary closing of a business, not to exceed 90 days, shall not be considered an abandoned sign.)

*Airborne Sign* means sign on a balloon, flag, pennant, or inflatable sign.

*Altered* means a change of copy, logo, or other means in which the message is changed or enlarged, changing shape or location.

*Animated Sign* means any sign which includes action or motion.

*Art* includes, but is not limited to, a sculpture, monument, mural, fresco, painting, fountain, mosaic, ceramic, carving, but does not include landscaping, architectural ornamentation, or any type of sign.

*Art in Public Spaces* means Art located in places easily seen by the public, but which has no direct commercial connection to the structure or location in which the Art is located.

*Average Grade* means the grade of the finished ground level at the midpoint of each exterior surface of a sign, or a structure, in the event that the sign is attached to the structure. The height of a sign shall be computed as the distance from the base of the sign at normal grade to the top of the highest attached component of the sign. Normal grade shall be construed to be the lower of existing grade prior to construction or the newly established grade after construction, exclusive of any filing, berming, mounding, or excavating solely for the purpose of locating the sign. In cases in which the normal grade cannot reasonably be determined, sign height shall be computed on the assumption that the elevation of the normal grade at the base of the sign is equal to the elevation of the nearest point of the crown of a public street or the grade of the land at the principal entrance to the principal structure of the zone lot, whichever is lower.

*Banner* means a temporary sign made of fabric, plastic, paper, or other light, pliable, or non-rigid material, not enclosed in a rigid frame (not including a "fabric sign" as defined herein).

*Billboard* means any sign that is freestanding or attached to or part of a building and is an off-premises sign.

*Building Face or Wall* means all window and wall area of a building in one plane or elevation.

*Business Information Sign* means a sign that is permanently and professionally attached to a door or window at the entrance of a business that contains information that may include the Business Name, Address, Phone Numbers, Hours of Operation, and Trade Associations the Business is a member of, e.g. FDIC, SBA, etc. All of the information must be located within the maximum Area of Sign for Business Information Sign as defined in Table 15-1. A Business Information Sign is not a Window Sign or a Wall Sign.

*Canopy* means any structure attached to a building at the inner end or a free-standing structure, with one or more supports, meant to provide shelter from the weather.

*Changeable Copy Sign (Manual)* means a sign on which copy is changed manually in the field, i.e., reader boards with changeable letters or changeable pictorial panels.

*Changeable Copy Sign (Automatic)* means a sign such as an electronically or electrically controlled public service time, temperature and date sign, message center, or reader board where different copy changes are shown on the same lamp bank.

*Charitable Project or Benefit* means proceeds must be for a qualified 501C entity pursuant to the Internal Revenue Code.

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*Commercial Art* means art on commercially-used structures which draws attention from the ROW and which identifies or advertises a product or business. Since this type of art is intentionally located and chosen to draw attention to the store and/or store products, the square footage of the art will be counted towards maximum signage area requirements.

*Commercial Sign* means a sign other than a real estate "For Sale" or "For Lease" sign, "Open House" sign, political sign, residential nameplate sign, public information sign, traffic control sign, temporary new business opening sign, or exempted sign, which directs the attention of the general public to a business, product, service, or other commercial or business activity.

*Conforming Sign* means signs built and maintained in accordance with the terms of this Ordinance.

*Contractor's Sign* means a sign intended to identify a contractor or subcontractor on the site of a construction project where the contractor or subcontractor is conducting work.

*Copy* means the wording or graphics on a sign surface.

*Erect* means to build, construct, alter, reconstruct, pour, lay, move upon, attach, hang, place, suspend or affix, and also includes the painting of wall signs, murals or super graphics, or any physical operations on the premises which are required for the construction of a sign including excavation, site clearance, landfill and the like.

*Fabric Sign* means a sign made of fabric or other non-rigid material, enclosed in a permanent frame and erected as a permanent, on-site sign for a business, service, product, or person.

*Facade* means the front or main part of a building facing a street.

*Face of Sign* means the entire area of a sign on which copy could be placed. The area of a sign which is visible from one direction as projected on a place.

*Flashing Sign* means any sign which contains an intermittent or flashing light source, or which includes the illusion of intermittent or flashing light by means of animation or an extremely mounted intermittent light source.

*Freestanding Sign* means any sign which is not attached to or on the walls, face, or exterior of a building.

*Future Project Development Signs* means those temporary signs announcing a future business or development on the site which the sign is located. Future Project Development Signs should be allowed only on the site which the project will be located and for only one (1) year. After which time the owner may apply for an extension (but only one extension) of the sign permit for one (1) additional year, but only if the permit holder shows progress in the development of the site.

*Grand Opening* means the initial opening of an entirely new business.

*Ground level* means the immediate surrounding grade.

*Height of Sign* means the vertical distance measured from the surrounding grade to the highest point on the sign or sign structure.

*High Rise Building* means a structure of more than Six (6) stories in height.

*Illegal Sign* means signs existing on the effective date of the adoption of this Ordinance which are not registered in accordance with the terms of Subsection 15-3A shall be categorized as illegal.

*Image Sign* means a two dimensional picture/poster used in lieu of models or actual merchandise displays, displayed through a window, and which has no wording other than trademark or brand name/brand logo. For example means portraits and brand name posters/product pictures portraying models wearing/using products; model wearing Nike swimming apparel or a model using a boogie board.

*Indirect Lighting* means a light source separated from the surface and illuminating the sign surface by means of spot lights or similar fixtures.

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*Joint Directory Sign* means a sign which consists of a composite of several individual signs identifying the businesses located in a commercial or office complex.

*Landscaping* for the purposes of this Ordinance, landscaping shall include any combination of shrubs, vines, hedge plantings, plants, trees or palms located in a planting area at the base of the sign. For the purposes of this chapter, the term "landscaping" shall not mean solely turf or grass, or the total absence of vegetable matter.

*Legally Non-Conforming* means signs existing on the effective date of the adoption of this Ordinance which are not in conformance with the Ordinance but which are registered with the Building Department in accordance with the terms of Section 15-3, shall be categorized as legally non-conforming.

*Legally Non-conforming Art and Art in Public Spaces* means "Art" and "Art in Public Spaces," as defined herein, lawfully existing on the effective date of this Ordinance, which do not fully comply or do not conform with the Ordinance.

*Logo* means a letter, character, or symbol used to represent a person, corporation, or business enterprise.

*Lot* means a parcel, tract, plot or area of land accessible by means of a street or other permanently reserved principal means of access. It may be a single parcel separately described in a deed or plat, or it may include parts of or a combination of such parcels when adjacent to one another and used as a whole.

*Major Corporate Sponsor* means the sponsor of a public event, listed on all advertising and other public promotions, resulting from the contribution of funds, equipment, products, and/or in-kind services to the event.

*Marquee* means any permanent roof-like structure at the entry to a building, which projects beyond the building or extends along and projects beyond the wall of the building, and which generally contains a commercial message(s), and is designed to provide protection from the weather.

*Minimum Sight Triangle* means a triangular area bounded by the right-of-way lines of a corner lot and a line connecting the two points on the right-of-way lines measured twenty (20) feet from the point of intersection of the right-of-way lines. For ingress/egress points and private roads, the minimum sight triangle shall be determined using the intersection of the curb line or edge of pavement for the ingress/egress point or private road and the public right-of-way.

*Monument Sign* means a freestanding sign, other than a pole sign, which has a skirt, dressed base, or other means of enclosing the structural members which support the sign, and which skirting or dressing has been approved by the Development Standards Review Task Force base must equal at least Fifty Percent (50%) of sign width and not to exceed One Hundred Twenty Percent (120%) of the width of the sign for signs up to Eight (8) feet in height. For signs proposed to be taller than Eight (8) feet in height, the width of the of the approved skirting or dressing must equal a minimum of Fifty Percent (50%) of the sign width, but shall in no case exceed Four (4) feet in width. For the purposes of this Ordinance, the terms "skirting" and/or "dressing" shall mean the enclosing of the structural members which support the sign with materials such as decorative masonry, natural and decorative stone, masonry with a stucco finish, and decorative wood such as redwood or cedar when appropriately finished to prevent decay and discoloration; no skirting may be made from metal or plastic materials. No signage is permitted on the skirting except street address.

*Multi-Pole, Single Pole Sign* means a sign whose only structural support consists of exposed poles, posts, beams, or other devices mounted in the ground.

*Office Complex/Multi-Tenant Shopping Center* means two (2) or more offices or stores sharing customer parking area, regardless of whether said offices or office establishments occupy separate structures or are under separate ownership.

*Official Sign* means any sign erected by or at the direction of any governmental body.

*Off-Premises Sign* means any sign other than an on-premises sign.

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*On-Premises Sign* means a sign which advertises only goods, services, facilities, events or attractions available on the premises where located, or identifies the owner or occupant or directs traffic on the premises. All other signs are off-premises signs.

*Owner* means a person recorded as such on official records and including duly authorized agent, notary, purchaser, lessee, devisee, or judiciary; anyone having a vested or contingent interest in the property or business in question.

*Painting* means the application of paint in the course of normal maintenance which in no way shall alter the message or group of works or letters.

*Parasite Sign* means any sign not exempted by the sign code, for which no permit has been issued, and which is hung from, attached to, or added onto an existing sign.

*Permanent Multi-Family or Subdivision Identification Sign* means a sign which designates the name of a project, subdivision, or other residential district, and which is located at or in close proximity to the main entrance.

*Person* means any natural person, firm, partnership, association, corporation or organization of any kind.

*Place of Business* means one enclosed structure with a Certificate of Occupancy regardless of the number of commercial uses within. For the purposes of this chapter regulating signage, each place of business must be separated from other places of business with non-penetrable walls in such a manner that the public must enter and/or exit the business through an exterior door.

*Political Sign* means any sign which is designated to influence the action of voters for the passage or defeat of a measure appearing on the ballot in connection with any national, state or local election.

*Portable Sign* means any sign not permanently affixed to a building, structure or the ground, and designed or constructed in such a manner that it can be moved or relocated without involving any structural or support changes. This definition includes, but is not limited to, A-frame signs, sandwich signs, curb signs, sail flag signs, feather flag signs and signs on trailers with or without wheels or on other vehicles which are primarily used as signs.

*Premises* means an area of land, with its appurtenances and buildings, which, because of its unity of use, may be regarded as the smallest conveyable unit of real estate.

*Project Development Sign* means a temporary sign for a commercial or multi-family tract during the construction of the proposed development which may identify a project under construction and includes the project's name and address, general contractor, architect, financing, and contact agent, with appropriate phone numbers. These signs should not be allowed until or unless the property owner receives a Building Permit for the site, and should be removed either immediately after receipt of the Certificate of Occupancy or immediately after the expiration or revocation of a Building Permit. (see also Future Project Development Sign)

*Projecting Sign* means a wall-mounted sign, erected in lieu of the permitted, free-standing monument sign, which projects from the face of a structure, meeting the following requirements:

- (1) The sign shall be pinned away from the wall of the structure a minimum of six (6) inches.
- (2) The sign shall not extend over any adjacent right-of-way or property line.
- (3) Projecting signs shall be designed as an integral architectural element of the building to which it principally relates. The mounting brackets of such signs will be an integral part of the sign and complementary to the design of the sign. No projecting sign shall be entirely supported by an unbraced parapet wall.
- (4) No unshielded lights will be permitted. All lighting fixtures shall be placed in such a way as they will not be struck or otherwise damaged by the sign in the event of high wind.
- (5) Projecting signs shall be designed to meet the wind resistance requirements of Section 15-10.

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*Public City Art* means Art as reviewed and approved by the Development Standards Review Task Force, which is created by a recognized artist and displayed in or on property owned or leased by the City of South Padre Island.

*Public Information Sign* means any sign or banner which is intended to identify community, civic and social events, special events, facilities, no-trespassing areas and is not a commercial sign or official sign as defined herein.

*Reader Board* means a sign that has changeable or removable lettering.

*Real Estate "For Sale," "For Lease," or "Open House" Sign* means a temporary sign designating that the premises upon which it is erected is for sale, rent, or lease or that an open house is being held on the day on which the sign is displayed.

*Reflective Surface* means any material or device which has the effect of intensifying reflected light, including, but not limited to, scotch light, day glow, glass beads and luminous paint.

*Required Signs* means any sign required by law for the protection of the general health, safety and welfare of the public. For the purposes of this Ordinance, numbers attached to the front plane of a facing and visible from the adjacent public right-of-way or private ingress/egress for the purpose of identifying the street address of the structure shall be considered a required sign. Such numbers shall be a minimum of four (4) inches in height, shall be of a color in distinct contrast to the color of the wall to which it is attached, and shall be plainly visible from the adjacent public right-of-way or private ingress/egress.

*Residential Nameplate Sign* means a sign permitted for the sole purpose of identifying the inhabitant residing therein, the house name, or identifying the address of the house. The sign may contain no advertising of any kind.

*Roof Line* means the highest point of the coping on a flat roof, false mansard, or parapet wall; the decline of a true mansard roof; the ridge line between the upper and lower slopes of a gambrel roof; or the mean height level between the eaves and the ridge of a gable or hip roof.

*Roof Sign* means a sign attached to, and wholly or partially dependent upon, the roof of a structure for support, or attached to the roof in any way, but not extending above the roof line, as defined by this Ordinance. Such signs will be completely enclosed between the sign and the corresponding roof, and shall be designed to meet the wind resistance requirements of Section 15-10.

*Sign* means any thing of visual appearance primarily used for, or having the effect of, attracting attention from the streets, sidewalks, curbside or any other public areas including waterways for identification purposes, whether illuminated or non-illuminated. An identification logo, description, illustration or device which is affixed to or represented directly or indirectly upon a building, structure or land, and which directs attention to a product, place, activity, person, service, institution or business, whether illuminated or non-illuminated. For the purposes of removal, the definition of "sign" shall include all of the sign structure. For the purposes of this Ordinance, this definition shall also include paintings directly upon a building, other structure or vehicle and any manufacture incorporated or added to a building or property that is not a normal structural or architectural component of a building shall be considered a "sign" (i.e. to attract attention from public right-of-way) and must comply with all the commercial sign regulations of this Chapter pertaining to either a monument sign or a projecting sign. (Ord. 02-14; Nov. 20, 2002) The basic intent behind this definition is not to discourage product displays, design, or art from epitomizing simplicity, good taste, and compatibility with the community's desired image.

*Sign Area* means the area of a sign face (which is also the sign area of a wall sign or other sign with only one face) shall be computed by means of the smallest square, circle, rectangle, triangle, or combination thereof that will encompass the extreme limits of the writing, representation, emblem, or other display, together with any material or color forming an integral part of the background of the display or used to differentiate the sign from the backdrop or structure against which it is placed, but not including any supporting framework, bracing, or decorative fence or wall when such fence or wall otherwise meets zoning ordinance regulations and is clearly incidental to the display itself. The sign area for a sign with more than one face shall be computed by adding together the area of all sign faces visible from one point. When two identical sign faces are placed back to back, so that both faces cannot be viewed from any point at the same time, and when such sign faces are part of the same

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sign structure and are not more than 42 inches apart, the sign area shall be computed by the measurement of one of the faces. For buildings that are not on public rights-of-way and/or near to property boundaries (e.g. building structures on a pier), sign areas shall be calculated on the basis of the most visible building frontage.

*Sign Structure* means the sign and all parts associated with its construction.

*Snipe Sign* means a sign which is tacked, nailed, posted, pasted, glued or otherwise attached to trees, utility poles, stakes, or fences or to other objects, and whose message is not associated with the premises upon which such sign is located.

*Suspended Sign* means a sign, other than a parasite sign, that is suspended from and supported by the underside of an awning, a marquee, a fascia, an umbrella, or a building overhang.

*Temporary Signage* means a sign erected for a special purpose and for a specifically stated short term of duration, as regulated by Sections 15-6(G), 15-7, and 15-12. Temporary signage may include such otherwise prohibited forms of signage as portable signs [Section 15-5(E)] and banners [Section 15-5(F)].

*Traffic Control Sign* means a permitted sign for the purpose of identifying parking areas and directing the flow of traffic on private property.

*Umbrella* means a device, often round or square in shape that is supported by a center pole that provides shade or protection. For purposes of this article, any device, structure, canopy, etc. that is handheld, or that is totally or partially enclosed, or that projects from or is connected to a building shall not be deemed to be an umbrella.

*Umbrella Sign* means a sign that is painted, installed, or otherwise applied to or located directly on an umbrella at an establishment. The sign, which is a combination of letter and/or logo, height is limited to 8 inches. Signage may only be displayed on the flap of the umbrella that is maximum 8 feet in diameter and 8 feet in height. Umbrella that is larger than the size limit shall not have any signs on it. The copy on an umbrella sign is limited to the name and/or logo of a single appurtenant business/residential establishment. For purposes of this article, signs that are suspended from umbrellas (suspended signs) shall not be considered to be umbrella signs. Suspended signs are prohibited.

*Wall Sign* means a sign attached to, painted on, or erected against the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall and not projecting more than Nine (9) inches from the face of the wall at any point.

*Window Sign* means a sign-printed, painted, neon or otherwise—no greater than thirty-two (32) square feet, displayed in or through a window or glass door and which can be seen from the front property line/right-of-way line. All windows signs except open or closed, name of store or business and national product logos (Image signs are permitted) are prohibited after February 1, 2012.

(Ord. No. 10-02; Ord. No. 04-03, 3-17-2004; Ord. No. 05-13; Ord. No. 20-09 , §§ 1, 2, 4, 10-21-2020)

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### **Sec. 15-2.1. Rules and procedures governing art in public spaces.**

- (A) All applications for approval to install, erect, or in any manner display art in public spaces must comply with all Rules and Regulations listed below.
- (1) The proposed art must not be attached to any type of structure and must be a minimum of five (5) feet from any type of structure.
  - (2) The total maximum size of the proposed art, including any base or stand shall be eight (8) feet in height, three feet (3) in width with a maximum depth of three (3) feet.
  - (3) All proposed Art must be a minimum of five (5) feet from any City, State, or any other right-of-way.
  - (4) All proposed Art must comply with all other City Codes.
  - (5) All applications for Art in Public Spaces must be reviewed by City Staff and approved by the Development Standards Review Task Force, with appeal rights, if denied, as outlined in Section 15-14. The Development Standards Review Task Force has the authority to grant variances in accordance with Section 15-14.
  - (6) All proposed Art in Public Spaces must be directly related to, and compatible with the local area theme and the immediate local environment.
  - (7) All proposed Art in Public Spaces must comply and meet the definition of "Art" in Section 15-2.
  - (8) All proposed Art in Public Spaces shall be created by a recognized artist.
  - (9) All applicants and all persons or entities shall be limited to one display of Art in Public Spaces per location.
  - (10) All proposed Art in Public Spaces shall not be allowed to involve or contain any kind of movement or vibration of any kind, and must be stationary.
  - (11) All proposed Art in Public Spaces shall not involve or contain any type of lighting, illumination, or lasers, except for some type of spot lighting to allow the display to be visible in the dark.
- (B) (1) Approved Art in Public Spaces shall not be counted towards maximum signage area requirements.
- (2) Art in Public Spaces shall not have any direct commercial connection to the structure or location in which the Art is located and cannot be used for any type of advertising.
  - (3) The Development Standards Review Task Force shall have the discretion to approve or deny an application to display Art in Public Spaces and has the authority to grant variances in accordance with Section 15-14.

(Ord. No. 20-09 , § 3, 10-21-2020)

CITY OF SOUTH PADRE ISLAND



Development Standards Review Task Force Application

Meeting date on the 2nd Tuesday of every month.

To be considered a complete application this form must be COMPLETELY filled out and ten (10) copies of the form and supporting documentation must be submitted two (2) weeks before the meeting date. \$250 application fee per variance request.

SITE LOCATION FOR REQUEST:

Physical Address (Street Name & Number): 6000 PADRE BLV

Legal Description (Lot/Block/Subdivision): PADRE BEACH Lot 1A Block 202

Is this property part of a shopping center (i.e. one tenant of many?) [ ] YES / [ X ] NO

Linear footage of any walls facing a street:

I hereby request the following from the Development Standards Review Task Force:

Public Art

\*SIGNS & STRUCTURES: person pulling sign permit is required to have a \$10,000 license and permit bond made out to the City of South Padre Island.

PROPERTY OWNER: YEHUDA AZOULAY

OWNER MAILING ADDRESS: 6000 PADRE BLV

CITY, STATE, ZIP: SOUTH PADRE ISL TX 78597

PHONE NUMBER: 956 571 8273 (E-mail address) QUE PADRE@LIVE.COM

Signature of Property Owner (required) Date 8-24-21

APPLICANT: SAM

APPLICANT MAILING ADDRESS:

CITY, STATE, ZIP:



PHONE NUMBER: (E-mail address)

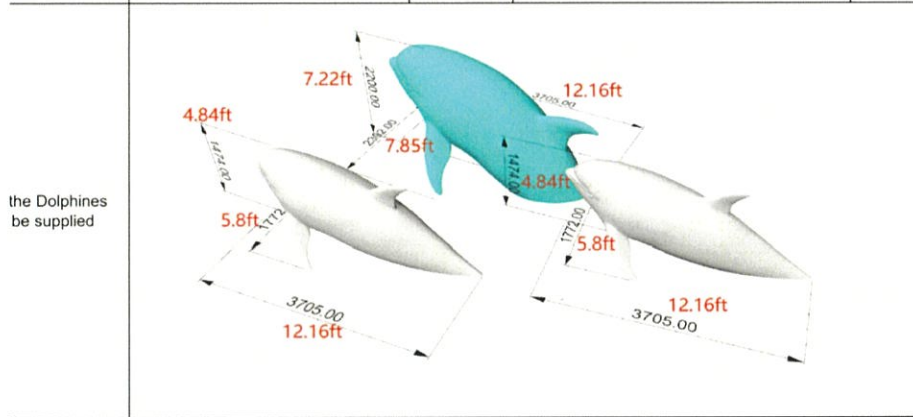
Signature of Applicant (if different from owner) Date 8-24-21





# To Yehuda, Quotation for Dolphin scul...

High Decorative Quality Level		Material	#304 Stainless steel	7
		Surface Treatment	Mirror polishing	
Artistic Quality Level		Thickness	1.8-2.5mm	will requ
		Quantity	3 each / set	
		Weight	590 kg/set	
		Size	The big one: L12.16ft x W7.85ft x H7.22ft Two small ones: L12.16ft x W5.8ft x H4.84ft	
		Material	#316 Stainless steel	
		Surface Treatment	Mirror polishing	
		Thickness	1.8-2.5mm	
		Quantity	3 each / set	
		Weight	590 kg/set	



ave different sizes in height,width and length, the variety of sizes as one set will make it look better and more natural

fferent materials for the sculpture, #316 stainless steel and #304 stainless steel. el is suitable to be used in the hot, humid Middle East or at the seaside,it is resistant to rust and will last a long time el is also not easy to rust and is very suitable for inland areas inner cities, it can keep for a long time. 3 years experience, I would like to recommend the High Decorative Quality Level (#304 stainless steel). It's good enc de 3D design for buyer's confirmation.

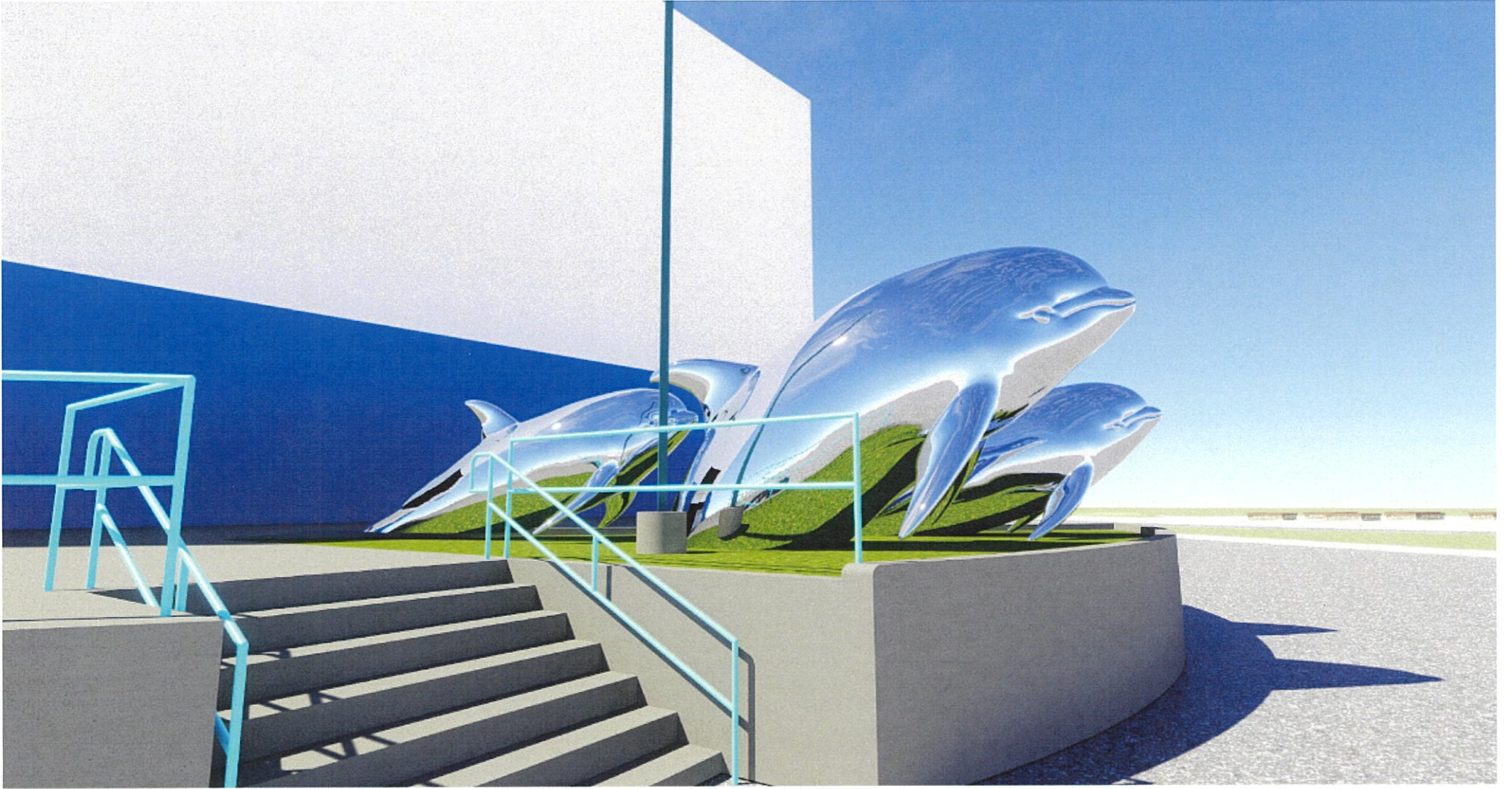
shop drawing for installation after placing the order.

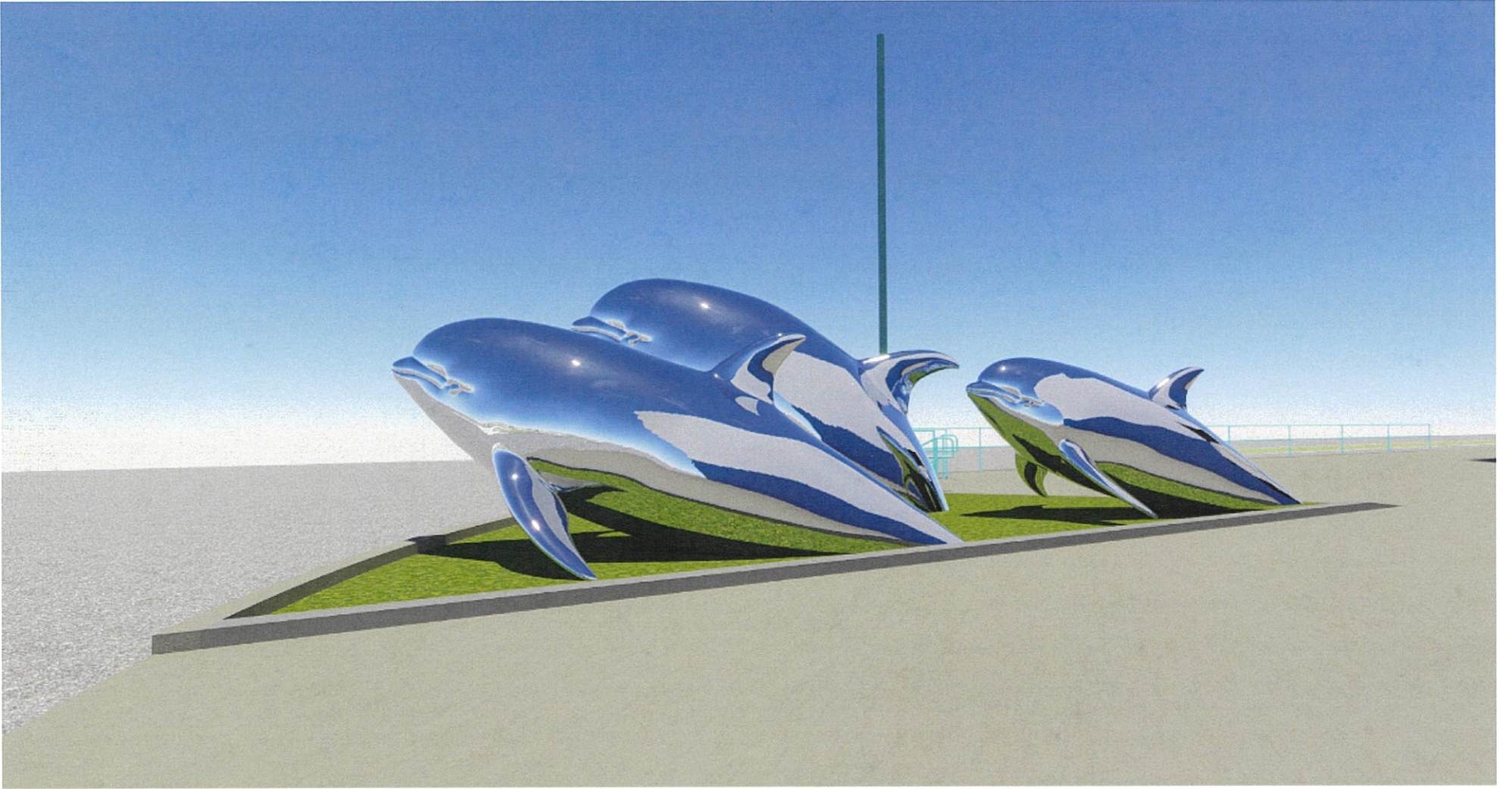
Quality: 10 years  
0 years

- Design 5-7 days, production about 30 days.
- By sea
- g Wooden Carton or steel frame with waterproof and shockproof plastic film inside
- ent: 50% be paid as the advance payment and balance should be paid after buyer inspection before shipment.
- ected by buyer
- necessary information and support to help buyer finish the foundation.

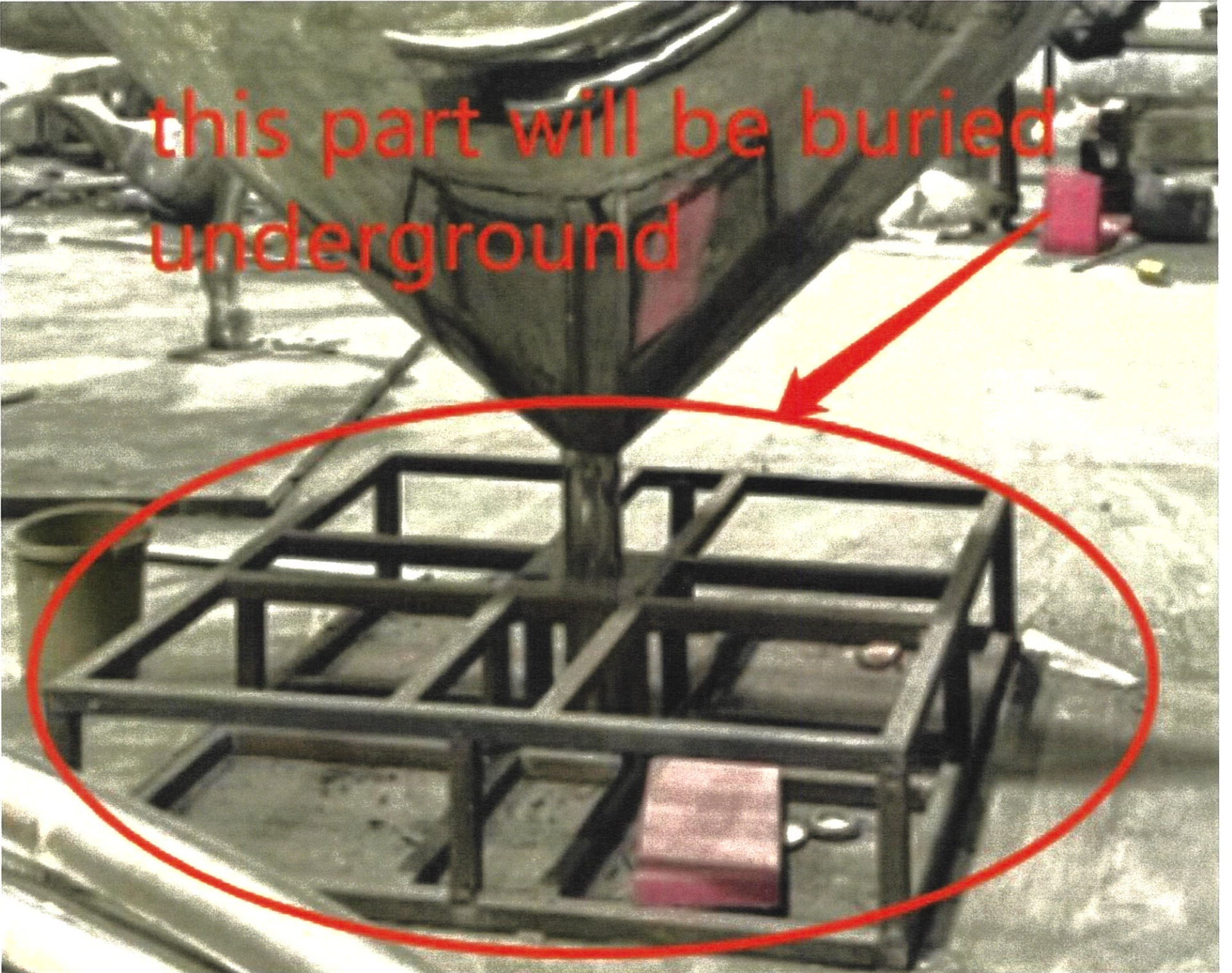
  
Open in Another App

  
Save to cloud drive





this part will be buried underground



**CITY OF SOUTH PADRE ISLAND  
DEVELOPMENT STANDARDS REVIEW TASK FORCE  
AGENDA REQUEST FORM**

**MEETING DATE:** September 12, 2023

**NAME & TITLE:** Alex Sanchez, Public Works Director

**DEPARTMENT:** Planning/Parks & Rec. Department

**ITEM**

Discussion and action regarding a request by AAA Electrical Signs for a variance from Section VIII Signage Standards, Monument Signs of the City's Padre Boulevard and Entertainment District Code. Applicant is requesting to install a sixteen (16') feet in height monument sign instead of the required six (6') feet in height as per the Form Base Code located at Coral Reef 5301 Padre Blvd. (Lot 8 Block 168, Padre Beach Subdivision, Section XI)

**ITEM BACKGROUND**

AAA Electrical Signs on behave of property owner is requesting to install a sixteen (16') feet in height monument sign instead of the required six (6') feet in height monument sign located at 5301 Padre Boulevard, Lot 8 Block 168, Padre Beach Subdivision, Section XI. Attached are pictures of the sign. The subject property is located on the west side corner of Padre Boulevard and Georgia Ruth Drive and is zoned "PBN" Padre Boulevard North Character Zone.

**BUDGET/FINANCIAL SUMMARY**

N/A

**COMPREHENSIVE PLAN GOAL**

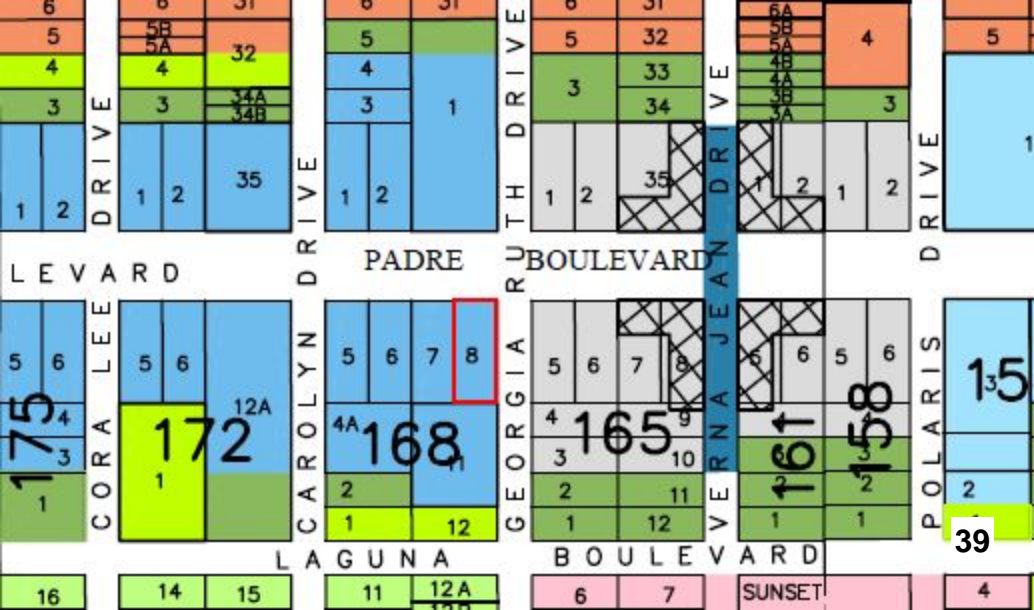
N/A

**LEGAL REVIEW**

Sent to Legal: No

Approved by Legal: No

**RECOMMENDATIONS/COMMENTS:**



**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT CODE  
VIII. SIGNAGE STANDARDS**

8.1 Applicability. For new and substantially modified signs, the standards in Table 8.1 shall apply and sign permits shall be approved administratively by the City of South Padre Island Building Official unless specifically noted in this section. Except as specifically listed below, all other signage and sign standards shall comply with Chapter 15 of the City of South Padre Island City Ordinances, as amended.

8.2 Master Sign Plans. An applicant has the option to establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as "Master Sign Plans" by the City of South Padre Island Building Official and are subject to approval of the City Council. In evaluating a Master Sign Plan, the City Council shall consider the extent to which the application meets the proposed Sign Plan:

- 8.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;
- 8.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;
- 8.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; and
- 8.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

Table 8.1

Character Zone	Bayfront	Entertainment District Core	Neighborhood Crossings	Town Center Crossing	Padre Boulevard South	Padre Boulevard Central	Padre Boulevard North	Neighborhood Transition	Standard
Sign Type									
Wall Signs	P	P	P	P	P	P	P	P (comm. uses only)	<ul style="list-style-type: none"> <li>• For all ground floor commercial uses (retail, office, and restaurant): One sign per tenant space per each street frontage, not to exceed more than 2 signs; area to be calculated at 1.5 sq. ft. per linear foot of public street frontage for the tenant space with a maximum of 100 sq. ft. per tenant.</li> <li>• Second and upper floor commercial uses may also be permitted one second floor wall sign per tenant space per public street frontage; area to be calculated at 1.5 sq. ft. per linear foot of second or upper floor frontage along that public street with a maximum of 125 sq.ft.</li> <li>• Institutional uses (non-profits and churches): One sign per tenant space; area to be calculated at 1.5 sq. ft. per linear foot of public street frontage with a maximum of 100 sq. ft.</li> <li>• Live-Work and Home occupations: One sign limited to an area of 20 sq. ft. max.</li> <li>• Building sign may encroach a maximum of 12" on to a sidewalk while maintaining a vertical clearance of 8 ft. from the finished sidewalk.</li> <li>• Building signs may be internally or externally lit.</li> <li>• Marquee signs as only permitted as specified below.</li> </ul>
Monument Signs	P	P	P	P	P	P	P	NP	<ul style="list-style-type: none"> <li>• One monument sign per lot per lot street frontage (no more than 2 per lot separated by at least 100 ft.) limited to a maximum of 50 sq. ft. per sign face and 6 ft. in height.</li> </ul>
Window Signs	P	P	P	P	P	P	P	P (comm. uses only)	<ul style="list-style-type: none"> <li>• Limited to 10% of the window area.</li> <li>• In the Neighborhood Transition Zone, window signs are only permitted for commercial uses (including the "work" component of live-work uses).</li> </ul> <p>The following shall be exempt from this limitation:</p> <ul style="list-style-type: none"> <li>• Addresses, closed/open signs, hours of operation, credit card logos, real estate signs, and now hiring signs.</li> <li>• Mannequins and storefront displays of merchandise sold.</li> <li>• Interior directory signage identifying shopping aisles and merchandise display areas.</li> </ul>
Building Blade Signs	P	P	P	P	P	P	P	P (comm. uses only)	<ul style="list-style-type: none"> <li>• One per building (commercial and mixed use buildings only)</li> <li>• Area = 30 sq. ft. maximum per sign face.</li> <li>• May encroach a maximum of 2 ft. over a sidewalk, but shall not encroach over any parking or travel lane.</li> <li>• Building blade signs may be attached to the building at the corners of building or along any street facing façade above the first floor facade.</li> </ul>
Tenant Blade Signs	P	P	P	P	P	P	P	P (comm.)	<ul style="list-style-type: none"> <li>• One per commercial tenant space (retail, office, or restaurant use)</li> <li>• Area = 16 sq. ft. maximum per sign face</li> </ul>

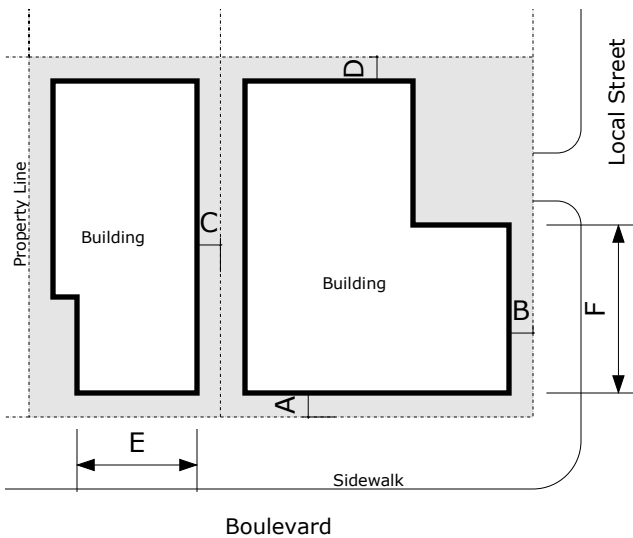


Character Zone	Bayfront	Entertainment District Core	Neighborhood Crossings	Town Center Crossing	Padre Boulevard South	Padre Boulevard Central	Padre Boulevard North	Neighborhood Transition	Standard
Sign Type								uses only)	<ul style="list-style-type: none"> <li>• May encroach a maximum of 2 ft. over a public sidewalk, but shall not encroach over any parking or travel lane.</li> <li>• Tenant blade signs shall be oriented perpendicular to the building façade and hung under the soffit of an arcade or under a canopy/awning or attached to the building façade immediately over the ground floor tenant space while maintaining a vertical clearance of 8 ft. from the finished sidewalk.</li> </ul>
Marquee Signs	P	P	P	P	P	P	P	NP	<ul style="list-style-type: none"> <li>• Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more</li> <li>• Marquee signs shall be attached to the building or located above or below a canopy only</li> <li>• Area = 100 sq.ft. maximum</li> <li>• Message board may be changeable copy (electronic and non-electronic). Electronic message boards shall be non-flashing.</li> </ul>
For sale/for lease signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> <li>• Size is limited to 32 sq. ft. per sign face</li> <li>• All other standards are the same as City of South Padre Island Sign Regulations.</li> </ul>
Address signs	P	P	P	P	P	P	P	P	Same as City of South Padre Island Sign Regulations
Temporary construction signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> <li>• 1 free standing sign per lot during construction only; limited to 32 sq. ft.</li> <li>• Regulations same as City of South Padre Island Temporary Signage regulations, Sec.15-6 (G)</li> </ul>
Banners	P	P	P	P	P	P	P	P	Same as City of South Padre Island Sign Regulations
Sandwich board signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> <li>• Permitted only for retail, service, or restaurant uses</li> <li>• Limited to 12 sq. ft. per sign face per storefront;</li> <li>• Sign may not exceed 5 ft. in height.</li> <li>• A minimum of 6 ft. of sidewalk shall remain clear.</li> <li>• Chalkboards may be used for daily changing of messages. Reader boards (electronic and non-electronic) shall be prohibited.</li> <li>• Sign shall be removed every day after the business is closed.</li> </ul>
Light Pole Banners	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> <li>• Permitted only with approval of the City Council.</li> <li>• Max. 10 sq. ft. per sign face.</li> <li>• Limited to one per light pole</li> <li>• All light pole banners shall be approved by the appropriate utility company prior to consideration by the City Council.</li> <li>• Light pole banners shall be limited to publicize community-wide events, holiday celebrations, public art, and other city sponsored events.</li> </ul>
Directory signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> <li>• Shall be allowed for all multi-tenant commercial and mixed use buildings only</li> <li>• One directory sign per multi-tenant building limited to 12 sq. ft. in area</li> <li>• Design of the sign shall be integral to the façade on which the sign is to be affixed.</li> </ul>

P= Permitted; NP = Not permitted

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT CODE**  
**6.5 PADRE BOULEVARD NORTH CHARACTER ZONE**

**6.5.1 Building Placement**



- (i) Build-to-Zone (From property line)
 

Boulevard	10' min.	A
Local Street	None	B
Pedestrian Priority St.	5'-25'	B

\* Arcades and colonnades are allowed within the BTZ with a minimum of 6' in depth and 12' interior clearance height.
- (ii) Setback
 

Side	0' min.	C
Rear	0' min.	D
Rear toward a Single Family residential lot	10' min.	D

\* A private fence (masonry or opaque vegetative) of a 6' height shall be required when abutting a single family residential lot.
- (iii) Building Frontage
 

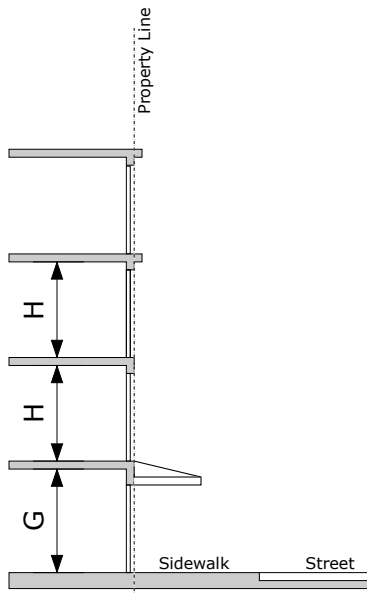
Boulevard	None	E
Local Street	None	F
Pedestrian Priority St.	40% min.	F

**6.5.3 Parking**

- (i) Location Priority
  1. Front parking;
  2. Shared parking lot or parking building
    - Within 1,200 feet from the lot with the principal building.
    - The approval by the City Manager or designee required;
    - Shared parking agreement is required;
  3. Next to a building; and
  4. Behind a building.
- (ii) Design Criteria
  1. Min. 3 feet behind the property line.
  2. No side/rear setback for parking;
  3. Non-residential uses
    - Min. 1 space/300 SF (gross)
  4. Residential uses
    - Min. 1.5 space/unit
  5. Lodging uses
    - 0.75 spaces/lodging room
  6. Floor to floor heights shall not apply to parking floors.
  7. All parking/service areas shall be defined from the street by a 4' high screen (either the same building material with the principal structure or masonry or a vegetation) within the property line.
- (iii) Alternative Parking Measures
 

All development shall either meet the requirement for the number of parking or shall pay an equivalent fee-in-lieu as established by the City Council.
- (iv) Service Access
  1. Service access should not be located on a Pedestrian Priority Street or on Padre Blvd.
  2. Porte cocheres may be permitted.
  3. Shared driveway and cross access easements shall be required between lots to minimize curb cuts.

**6.5.2 Building Height**



- (i) Max. Building Height
 

None	(Max. 4 stories within 300' of Padre Blvd.)
------	---
- (ii) 1st Floor Ceiling Height
 

12' min.	G
----------	---
- (iii) Upper Floor(s) Ceiling Height
 

10' min.	H
----------	---
- (iv) Canopies, signs, awnings, balconies and similar overhang may be allowed over any required setbacks or the sidewalk if the vertical clearance meets a min. of 8 feet.
- (v) Recessed entrances may be permitted if the upper floors meet the built-to-zone standards.
- (vi) Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.
- (vii) Ground floors of all building fronting on Pedestrian Priority Street and Boulevard shall be built to Commercial Ready standards.



**CITY OF SOUTH PADRE ISLAND**

Development Standards Review Task Force Application  
 Meeting date on the 2<sup>nd</sup> Tuesday of every month.  
 To be considered a complete application this form must be COMPLETELY filled out and ten (10) copies of the form and supporting documentation must be submitted two (2) weeks before the meeting date. \$250 application fee per variance request.

**SITE LOCATION FOR REQUEST:**

Physical Address (Street Name & Number): 5301 PADRE BLVD., SOUTH PADRE ISLAND, TX 78597

Legal Description (Lot/Block/Subdivision): SO PADRE IS-PADRE BEACH SECTION X1 LOT 8 BLK 168

Is this property part of a shopping center (i.e. one tenant of many?) [  YES / [X] NO

Linear footage of any walls facing a street: 40 feet

I hereby request the following from the Development Standards Review Task Force: \_\_\_\_\_

APPEAL TO DENIAL OF INSTALLATION OF 16 FEET SIGN, ORDINANCE NOW READS  
SIGNS AT 6 FEET TALL, SIGN IS NOT VISIBLE AT 6 FEET WHEN VEHICLES ARE PARKED  
IN FRONT OF SIGN

\*SIGNS & STRUCTURES: person pulling sign permit is required to have a \$10,000 license and permit bond made out to the City of South Padre Island.

PROPERTY OWNER: KINGAR INC.

OWNER MAILING ADDRESS: PO BOX 2957

CITY, STATE, ZIP: SOUTH PADRE ISLAND, TEXAS 78597

PHONE NUMBER: 956-761-1813 (E-mail address) \_\_\_\_\_

[Signature] \_\_\_\_\_ Date \_\_\_\_\_  
 Signature of Property Owner (required)

APPLICANT: AAA ELECTRICAL SIGNS

APPLICANT MAILING ADDRESS: PO BOX 997

CITY, STATE, ZIP: DONNA, TEXAS 78537

PHONE NUMBER: 956-464-3221 (E-mail address) SIGNS@3ASIGNS.COM

[Signature] \_\_\_\_\_ Date 8-24-23  
 Signature of Applicant (if different from owner)



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

02/01/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> TrustStar Insurance Services 117 E. Langley Blvd Universal City, TX 78148	210-824-0020	<b>CONTACT NAME:</b> RACHELLE BYLSMA <b>PHONE (A/C, No, Ext):</b> 210-824-0020 <b>E-MAIL ADDRESS:</b> Rachelle@TrustStarInsure.com	<b>FAX (A/C, No):</b> 210-820-3300
	<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC #</b>
<b>INSURER A :</b> UNITED FIRE & CASUALTY GROUP		<b>13021</b>	
<b>INSURER B :</b> TEXAS MUTUAL INS CO.		<b>22945</b>	
<b>INSURER C :</b>			
<b>INSURER D :</b>			
<b>INSURER E :</b>			
<b>INSURER F :</b>			

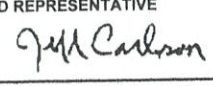
**INSURED**  
 TESORO CORPORATION, DBA  
 AAA ELECTRICAL SIGNS,  
 AAA CUSTOM & ELECTRICAL SIGNS,  
 P.O. BOX 3245  
 MCALLEN, TX 78502

**COVERAGES**                      **CERTIFICATE NUMBER:**                      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			85323416	02/01/2023	02/01/2024	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			85323416	02/01/2023	02/01/2024	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED    RETENTION \$ 0			85323416	02/01/2023	02/01/2024	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
B	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input checked="" type="checkbox"/> N    N/A If yes, describe under DESCRIPTION OF OPERATIONS below			TSF0001281843	02/01/2023	02/01/2024	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
A	Installation Fltr			85323416	02/01/2023	02/01/2024	Jobsite 250,000
B	Leased/Rented			85323416	02/01/2023	02/01/2024	Equipment 150,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

<b>CERTIFICATE HOLDER</b>  SOUTH PA  City of South Padre Island 3401 Padre Blvd South Padre Island, TX 78597	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
--	--

*Rick Figueroa*  
Chair

*Thomas F. Butler*  
Vice Chair



*Gerald R. Callas, M.D., F.A.S.A.*  
*Nora Castañeda*  
*Sujeeth Draksharam*  
*Lori High, RN, NP, Retired*  
*Gary F. Wesson, D.D.S., M.S*

## *Electrical Sign Contractor*

**AAA ELECTRICAL SIGNS**

License Number: 18035

The business named above is licensed by the Texas Department of Licensing and Regulation

License Expires: JULY 13 2024

Mike Arismendez, Jr.  
Executive Director

lic-037.dff



# Western Surety Company

## CONTINUATION CERTIFICATE

Western Surety Company hereby continues in force Bond No. 61208720 briefly described as SIGN CONTRACTOR CITY OF SOUTH PADRE ISLAND,  
PAUL SULLIVAN DBA TESORO CORPORATION AND AAA ELECTRICAL SIGNS, as Principal,  
 in the sum of \$ TEN THOUSAND AND NO/100 Dollars, for the term beginning November 22, 2022, and ending November 22, 2023, subject to all the covenants and conditions of the original bond referred to above.

This continuation is issued upon the express condition that the liability of Western Surety Company under said Bond and this and all continuations thereof shall not be cumulative and shall in no event exceed the total sum above written.

Dated this 28th day of October, 2022.



WESTERN SURETY COMPANY

By Paul T. Bruhat  
 Paul T. Bruhat, Vice President

**THIS "Continuation Certificate" MUST BE FILED WITH THE ABOVE BOND.**











**SIDE VIEW**

22"  
14"



CONCRETE PAD

2'-0"



6'-0"  
4'-0"  
8 1/2"  
11 1/2"  
12"  
2'-0"  
8"  
5"  
7 3/4"  
16'-0"  
9'-3"  
10'-0"  
9"  
3'-6"

**Double Face Electrical ID Sign**  
 CUSTOM ALUMINUM SIGN CABINE  
 .125" ALUM. OVER 1 1/2" X 1 1/2"  
 FACES: CUSTOM FORMED & EMBOS  
 ILLUMINATED BY SAMSUNG WHITE LEDS DC12V POWER, 1.5W IP68  
 POWERED BY WEHO MODEL LRS-350-12  
 WIRED TO U.L. SPECIFICATIONS  
 SINGLE POLE INSTALLATION & ALUP

**COLORS.**  
 PMS Black  
 PMS #485 C Red  
 PMS #428 C Grey

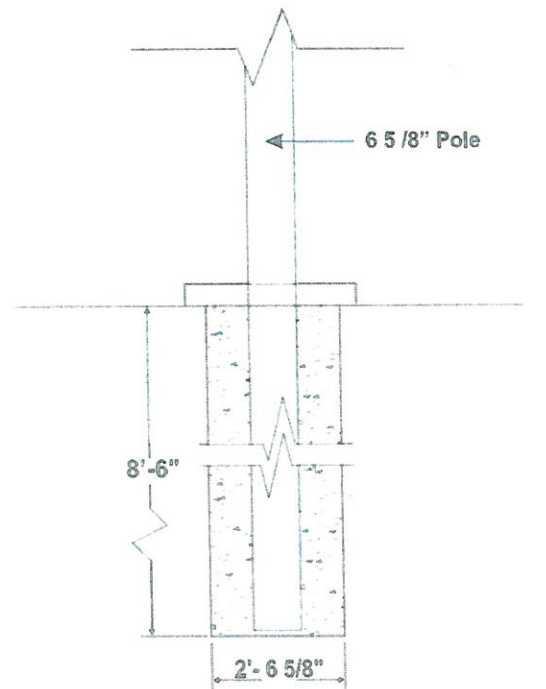
DIGITALLY PRINTED  
 VINYL GRAPHIC MOUNTED TO  
 SECOND SURFACE

H.P. COMPUTER CUT VINYL

34"  
 PUMPER GUARDS



ENLARGED FOR DETAIL



Engineering by Accutrack  
 2015 IBC® & ASCE 7-10  
 Building & Design Load Standards  
 Design Wind Speed [mph]: 130  
 Wind Pressure [psf]: 26.35  
 Wind Load [lbs]: 1739.42  
 Thick Wall (0.25in)  
 Required Footing Width [ft]: 2'-6 5/8"  
 Footing Depth [ft]: 8' - 6"  
 Concrete Volume [yd^3]: 1.61

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 A TESORO CORPORATION™ Sign Company  
 Celebrating 53 years in Business

Customer: The Coral Reef  
 Address: 5301 Padre Blvd.  
 City: SPI, TX 78578  
 Sales Rep: Mike Hill  
 Job Name: 213-2023 The Coral Reef

Design#: 213-2023  
 Desc#: 6  
 Scale: 3/8"=1'-0"  
 Revised: 5-15-2023  
 Designer: Joe H.

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**CUSTOMER APPROVAL**  
*Allicea Berwell 4/17/23*  
 Customer Signature / Date  
 Landlord Signature / Date

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