



Beach Access #16 Neptune Circle Improvements ADDENDUM NO. 3

GREEN, RUBIANO & ASSOCIATES

Structural Engineers

Project Engineer

Green, Rubiano & Associates

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This project is funded, in part, by a Texas Coastal Management Program grant approved by the Texas Land Commissioner pursuant to National Oceanic and Atmospheric Administration Award

No. NA23NOS4190249



ADDENDUM NO.3

City of South Padre Island
Beach Access #16 Neptune Circle Improvements
South Padre Island, TX

Prepared by:
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Date: September 24, 2024

This Addendum is supplemental to, and a part of the plans, specifications, and proposal documents for the above project, and all previous and future addenda, and all terms and conditions of those documents apply to this addendum and vice versa.

This addendum includes:

1. Bidder’s Request for Clarification

- a. Attached Document pg. 2 of 2

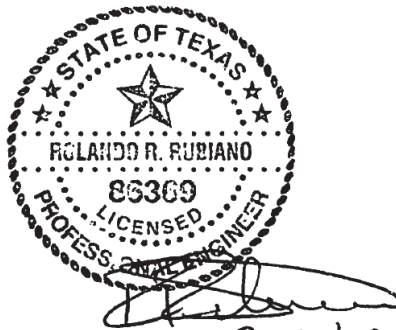
2. Structural Revised Drawings & Cover Sheet

G0.0	Coversheet (R1)
S1.5	Site Plan (R1)
S1.5A	Site Plan with Aerial Overlay (R1)

3. Civil Added & Revised Drawings:

C.2	Proposed Utility Layout & Connections (R1)
C.3	Proposed Grading & Pavement (R1)
C.4	Paving Details

END OF ADDENDUM NO. 3



9-24-2024

ADDENDUM NO.3

City of South Padre Island
 Beach Access #16 Neptune Circle Improvements
 South Padre Island, TX

Bidder's Request for Clarification

Questions from Bidders:	Response:
Will the project cut shown on sheet GLO-A1 be allowable as a fill-in in other locations?	Yes, cut soil material will be used as infill as noted on GLO-A2.
Where will the project fill-in sheet on GLO-A2 need to be sourced from, or what type of material is different than local sand?	Fill material will be sourced from the project site. Imported fill, as noted in the civil drawings for the parking lot area, will be the responsibility of the general contractor.
Can material and equipment be stored on site overnight?	Material and equipment can be stored on site. The contractor will be responsible for securing the site.
Will the owner have all material testing, or will testing be as per the specification items?	The owner will contract independently with a 3 rd party testing lab. The contractor will be responsible to coordinate and communicate directly with the owner's testing lab for all construction material examinations.
Will the entire site need to be fenced off from the public?	Yes, the contractor's responsibility for securing the site. The site will be closed to the public for the duration of construction.
Will contractor have access from the beach?	Yes, the contractor will need to apply for a beach access permit through the Shoreline Department of the City of South Padre Island.

South Padre Island Pedestrian Walkover

AT:
Neptune Circle
Beach Public Access
South Padre Island, Texas

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PROJECT SHEET INDEX:
G0.0 COVER SHEET

GLO INFORMATION SHEET INDEX:

- GLO-A1 VOLUME AND LOCATION OF DUNE CUT (IMPACTED)
- GLO-A2 VOLUME AND LOCATION OF DUNE FILL (MITIGATION)
- GLO-B1 AREA OF VEGETATION (IMPACTED)
- GLO-B2 AREA OF RE-VEGETATION/NEW VEGETATION (MITIGATION)

STRUCTURAL SHEET INDEX:

- S1.1 ACCESSIBILITY STANDARDS
- S1.2 ACCESSIBILITY STANDARDS
- S1.3 SITE AERIAL AND GENERAL NOTES
- S1.4 EXISTING SITE PLAN
- S1.5 SITE PLAN
- S1.5A SITE PLAN LAYOUT WITH AERIAL OVERLAY
- S1.6 SITE GRADING PLAN
- S1.7 ENLARGED SITE IMPROVEMENT PLAN
- S2.0 GENERAL STRUCTURAL NOTES
- S2.1 GENERAL STRUCTURAL NOTES
- S2.2 PEDESTRIAN WALKOVER FRAMING PLAN
- S2.3 FRAMING DETAILS
- S2.4 FRAMING DETAILS
- S2.5 FRAMING DETAILS
- S2.6 WALKOVER FRAMING ELEVATIONS
- S2.7 WALKOVER FRAMING ELEVATIONS
- S2.8 WALKOVER FRAMING ELEVATIONS
- S2.9 RESTROOM PLAN AND ELEVATION DETAILS
- S2.10 RESTROOM SECTIONS
- S2.11 PLAN DETAILS
- S2.12 RESTROOM ROOF AND CEILING PLAN
- S2.13 RESTROOM FOUNDATION PLAN AND DETAILS
- S2.14 RESTROOM FRAMING PLAN AND DETAILS

OWNER:
City of South Padre Island
4601 Padre Blvd
South Padre Island, Texas

CIVIL ENGINEER:
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ENGINEERING SURVEYING
1643 WEST PRICE ROAD
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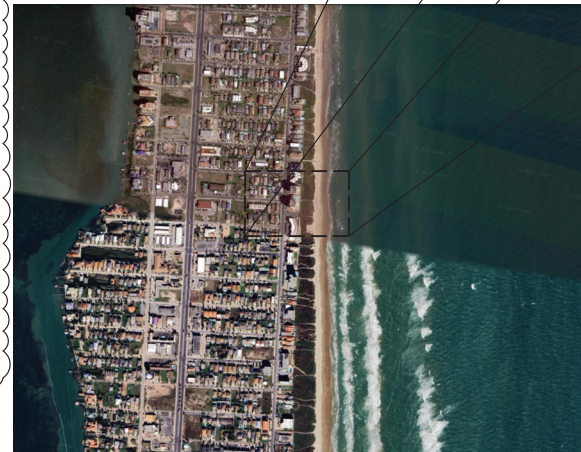
CIVIL SHEET INDEX:

- C1 EXISTING TOPOGRAPHY, UTILITIES & IMPROVEMENTS
- C2 PROPOSED UTILITY LAYOUT & CONNECTIONS
- C3 PROPOSED GRADING & PAVEMENT
- C4 PAVING DETAILS
- C5 SANITARY SEWER CONNECTION DETAILS
- C6 WATER LINE DETAILS
- C7 STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS

LANDSCAPE:
SSP DESIGN LLC
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LANDSCAPE SHEET INDEX:

- L1.01 IRRIGATION PLAN
- L1.02 IRRIGATION DETAILS
- L2.01 LANDSCAPE/LAYOUT PLAN
- L3.01 LANDSCAPE SCHEDULES AND DETAILS
- L3.02 HARDSCAPE SCHEDULES AND DETAILS



SITE MAP

NOT TO SCALE



NEPTUNE CIRCLE



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SEAL

PROJECT
**SPI NEPTUNE CIRCLE
BEACH ACCESS
IMPROVEMENTS**
**SOUTH PADRE ISLAND,
TEXAS**

CLIENT
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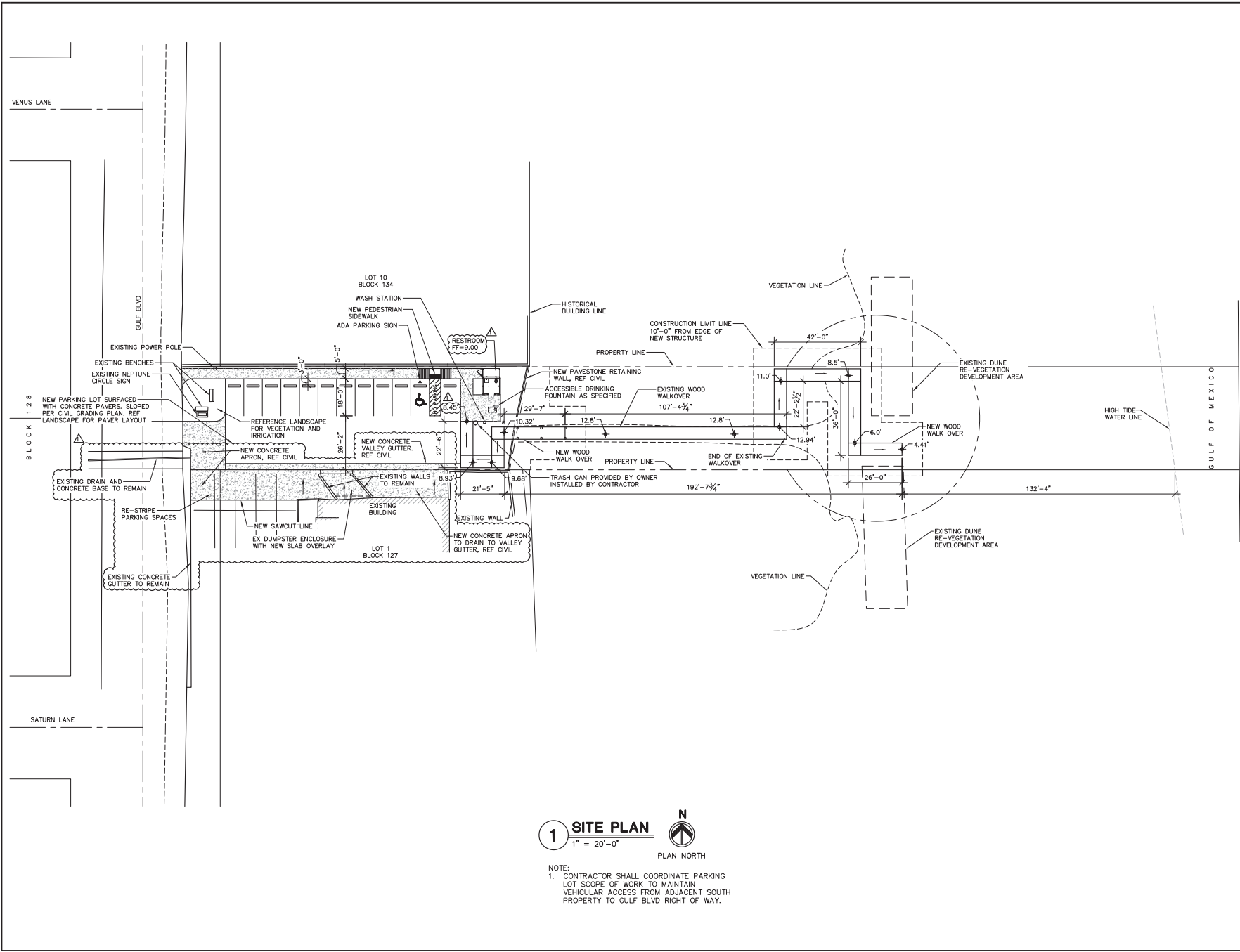
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PROJECT NO.	1065-21
DATE	08-09-2024
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SHEET TITLE	

COVER SHEET

SHEET NO.
GO.0

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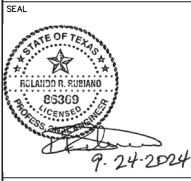


1 SITE PLAN
 1" = 20'-0"
 PLAN NORTH

NOTE:
 1. CONTRACTOR SHALL COORDINATE PARKING LOT SCOPE OF WORK TO MAINTAIN VEHICULAR ACCESS FROM ADJACENT SOUTH PROPERTY TO GULF BLVD RIGHT OF WAY.



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PROJECT
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 SOUTH PADRE ISLAND, TEXAS

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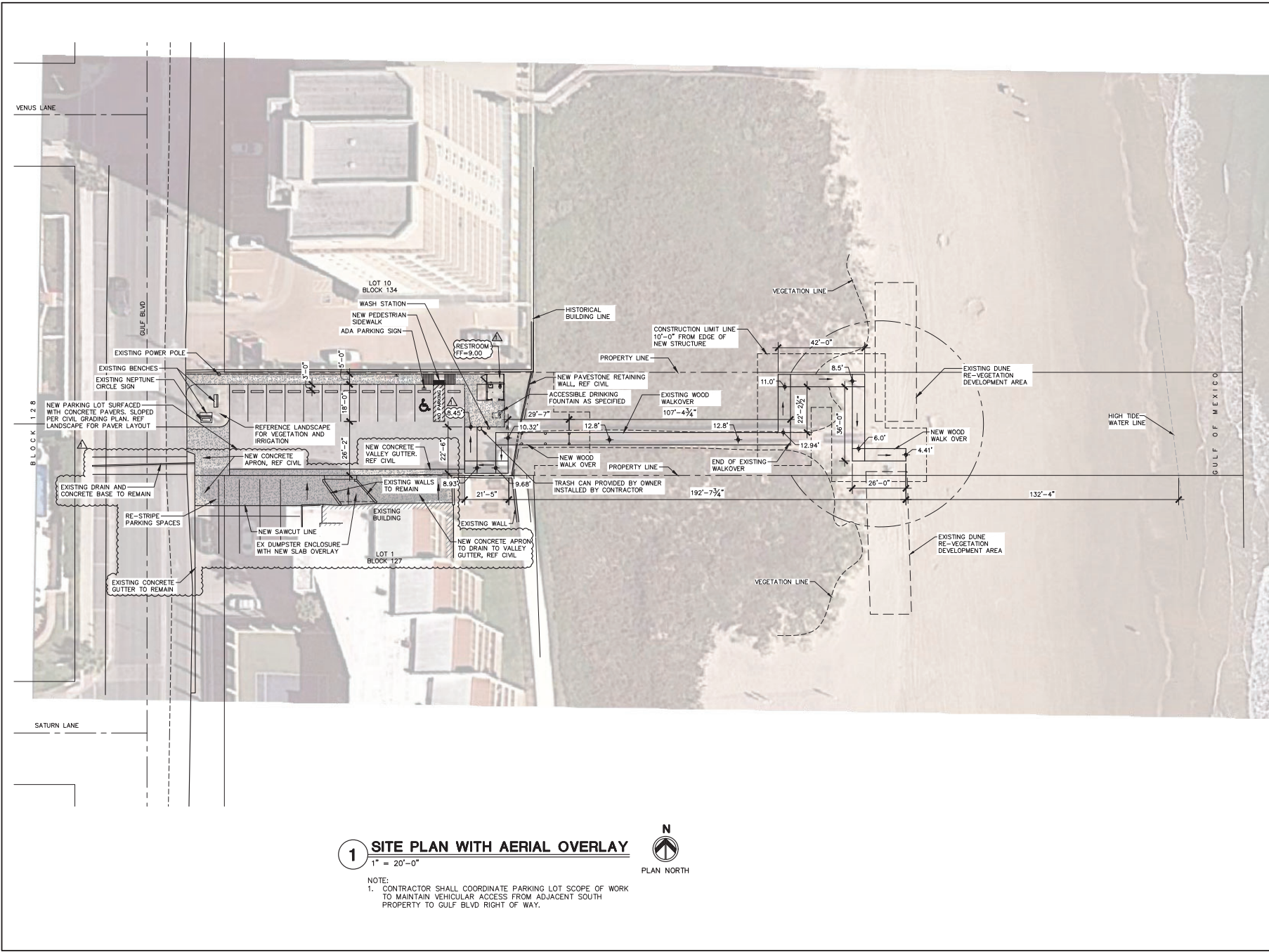
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SITE PLAN

SHEET NO.
S1.5

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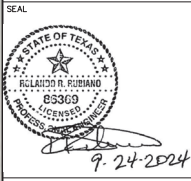


1 SITE PLAN WITH AERIAL OVERLAY
 1" = 20'-0"



NOTE:
 1. CONTRACTOR SHALL COORDINATE PARKING LOT SCOPE OF WORK TO MAINTAIN VEHICULAR ACCESS FROM ADJACENT SOUTH PROPERTY TO GULF BLVD RIGHT OF WAY.

GA
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PROJECT
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SHEET TITLE	SITE PLAN WITH AERIAL OVERLAY

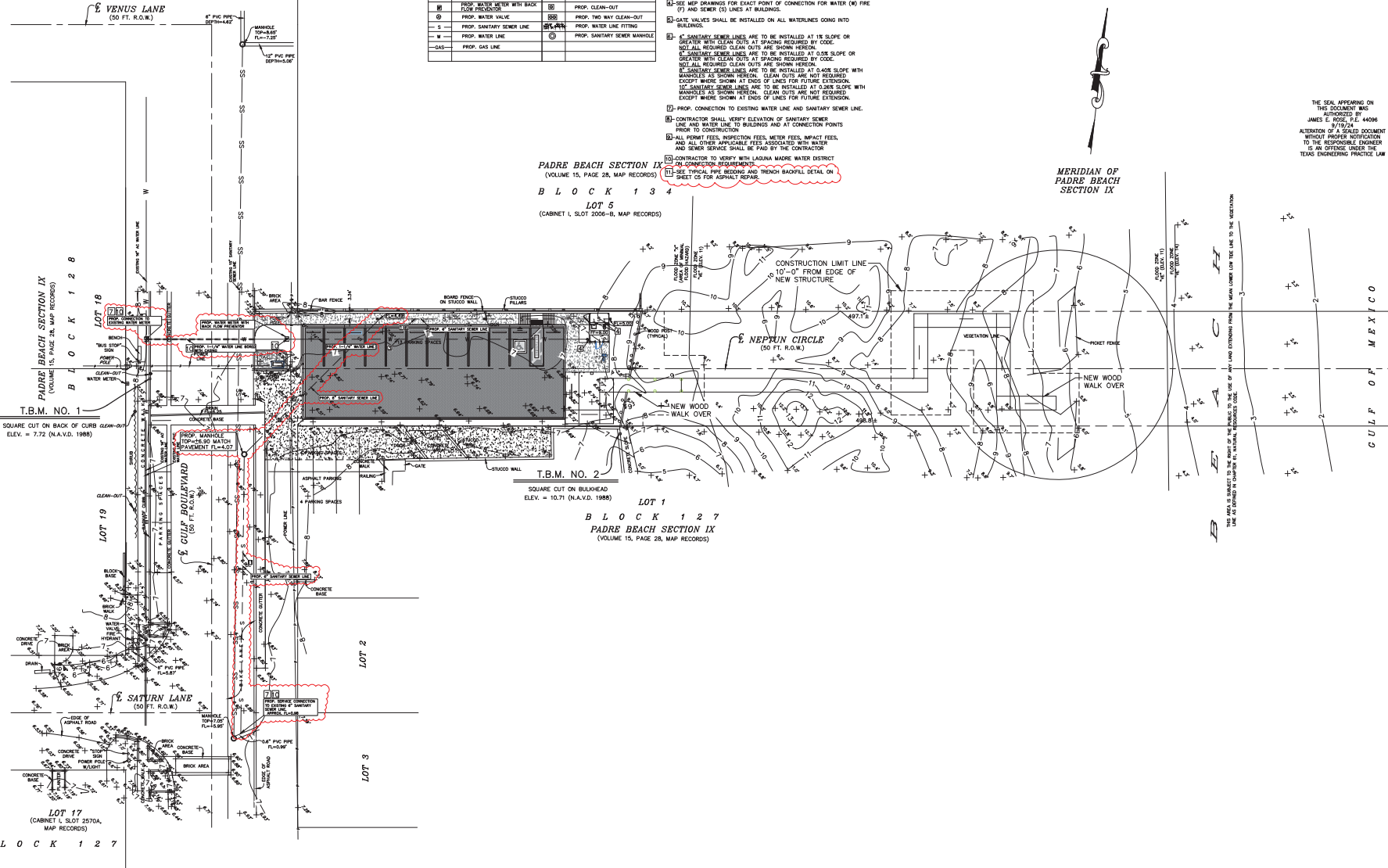
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S1.5A

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CALL TEXAS R11 FOR SPOTTING OF UTILITIES
PRIOR TO ANY TYPE OF CONSTRUCTION!
1-800-344-8377

PROPOSED IMPROVEMENTS LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	PROP. FIRE HYDRANT Complete Pipe in trench 4" size and 6" Size Valve to hydrant	- F -	PROP. FIRE LINE
	PROP. WATER METER WITH BACK FLOW PREVENTER	- ST -	PROP. STORM SEWER LINE
	PROP. WATER METER	⊗	PROP. CLEAN-OUT
	PROP. WATER VALVE	⊗	PROP. 1/2" WY CLEAN-OUT
	PROP. SANITARY SEWER LINE	⊗	PROP. WATER LINE FITTING
	PROP. WATER LINE	⊗	PROP. SANITARY SEWER MANHOLE
	PROP. GAS LINE	⊗	

- NOTES:
- 1- ALL SANITARY SEWER LINES TO BE PVC SDR-35
 - 2- ALL WATERLINES 4" AND LARGER SHALL BE PVC C900 DR-25 PIPE UNLESS SHOWN OTHERWISE.
 - 3- WATERLINE SMALLER THAN 4" SHALL BE PVC SCH 40 PIPE.
 - 4- USE WPD DRAWINGS FOR EXACT POINT OF CONNECTION FOR WATER (W) PIPE (T) AND SEWER (S) LINES AT BUILDINGS.
 - 5- GATE VALVES SHALL BE INSTALLED ON ALL WATERLINES GOING INTO BUILDINGS.
 - 6- SANITARY SEWER LINES ARE TO BE INSTALLED AT 1% SLOPE OR GREATER WITH CLEAN OUTS AT SPACING REQUIRED BY CODE. NOT ALL REQUIRED CLEAN OUTS ARE SHOWN HEREON.
 - 7- SANITARY SEWER LINES ARE TO BE INSTALLED AT 2% SLOPE OR GREATER WITH CLEAN OUTS AT SPACING REQUIRED BY CODE. NOT ALL REQUIRED CLEAN OUTS ARE SHOWN HEREON.
 - 8- SANITARY SEWER LINES ARE TO BE INSTALLED AT 0.4% SLOPE WITH MANHOLES AS SHOWN HEREON. CLEAN OUTS ARE NOT REQUIRED EXCEPT WHERE SHOWN AT ENDS OF LINES FOR FUTURE EXTENSION.
 - 9- SANITARY SEWER LINES ARE TO BE INSTALLED AT 2% SLOPE WITH MANHOLES AS SHOWN HEREON. CLEAN OUTS ARE NOT REQUIRED EXCEPT WHERE SHOWN AT ENDS OF LINES FOR FUTURE EXTENSION.
 - 10- PROP. CONNECTION TO EXISTING WATER LINE AND SANITARY SEWER LINE.
 - 11- CONTRACTOR SHALL VERIFY ELEVATION OF SANITARY SEWER LINE AND WATER LINE TO BUILDINGS AND AT CONNECTION POINTS PRIOR TO CONSTRUCTION.
 - 12- ALL PERMIT FEES, INSPECTION FEES, METER FEES, IMPACT FEES, AND SEWER SERVICE SHALL BE PAID BY THE CONTRACTOR.
 - 13- CONTRACTOR TO VERIFY WITH LAGUNA MADRE WATER DISTRICT ON CONNECTION REQUIREMENTS.
 - 14- SEE TYPICAL PIPE BEDDING AND TRENCH BACKFILL DETAIL ON SHEET 05 FOR ASPHALT REPAIR.



MERIDIAN OF
PADRE BEACH
SECTION IX

PADRE BEACH SECTION IX
(VOLUME 15, PAGE 28, MAP RECORDS)
B L O C K 1 3 4
LOT 5
(CABINET L, SLOT 2006-B, MAP RECORDS)

LOT 1
B L O C K 1 2 7
PADRE BEACH SECTION IX
(VOLUME 15, PAGE 28, MAP RECORDS)

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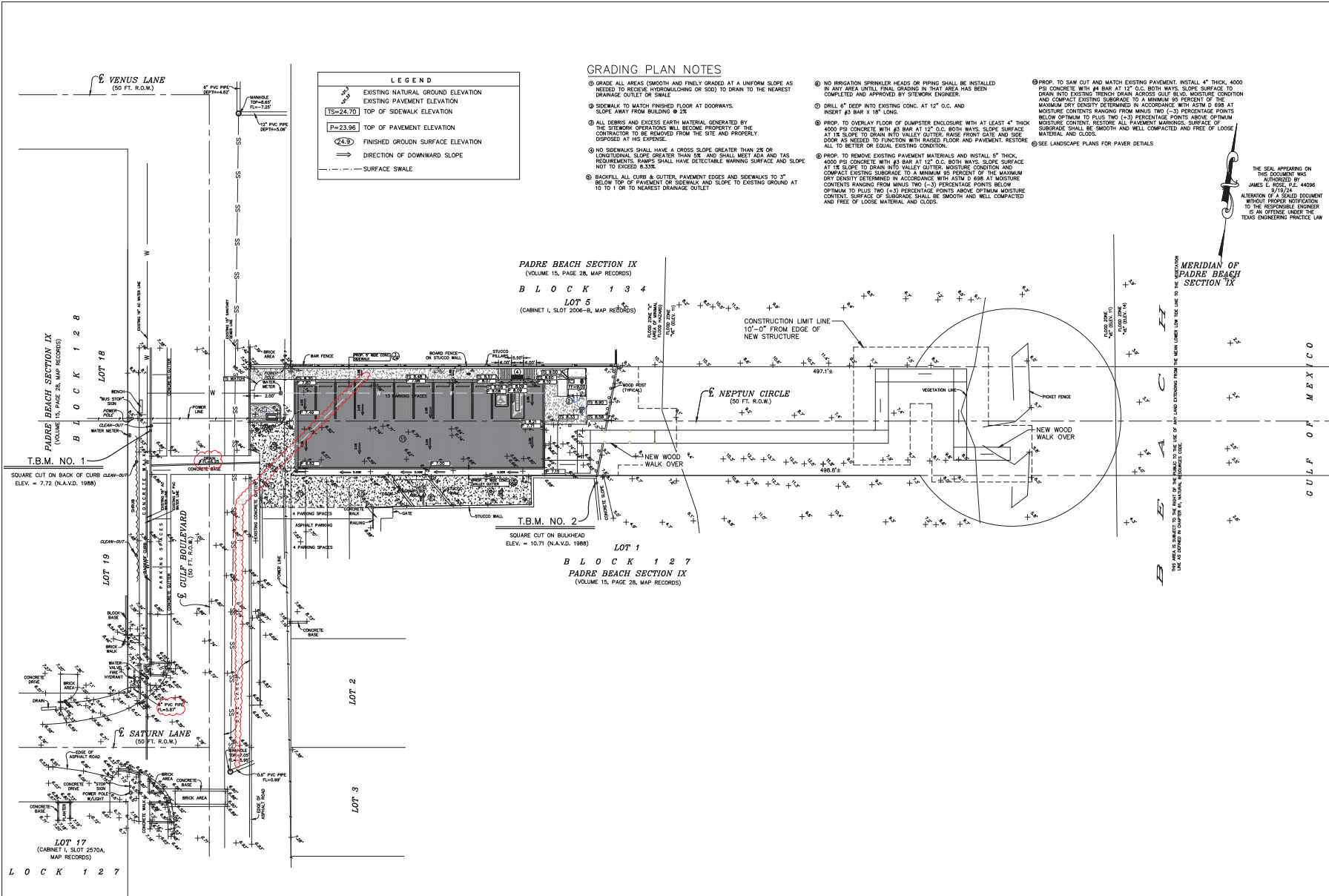
PROJECT NO. 1065-21
DATE 08-09-2024
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SCALE 1"=20'
SHEET TITLE

UTILITY
LAYOUT

SHEET NO.
C-2
OF
C7

Mefia & Rose, Incorporated
Engineers
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S.P.E. Reg. No. 1002900
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GRADING PLAN NOTES

- ① GRADE ALL AREAS (SMOOTH AND FINELY GRADED AT A UNIFORM SLOPE AS NEEDED TO RECEIVE HYDROLOGICAL OR SOD) TO DRAIN TO THE NEAREST DRAINAGE OUTLET OR SWALE.
- ② SIDEWALK TO MATCH FINISHED FLOOR AT DOORWAYS. SLOPE AWAY FROM BUILDING @ 2%.
- ③ ALL DEBRIS AND EXCESS EARTH MATERIAL GENERATED BY THE SITEWORK OPERATIONS WILL BECOME PROPERTY OF THE CONTRACTOR TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED AT HIS EXPENSE.
- ④ NO SIDEWALKS SHALL HAVE A CROSS SLOPE GREATER THAN 2% OR LONGITUDINAL SLOPE GREATER THAN 3% AND SHALL MEET ADA AND T&E REQUIREMENTS. RAMP SHALL HAVE DETECTABLE WARNING SURFACE AND SLOPE NOT TO EXCEED 8.33%.
- ⑤ BACKFILL ALL CURB & GUTTER, PAVEMENT EDGES AND SIDEWALKS TO 3" BELOW TOP OF PAVEMENT OR SIDEWALK AND SLOPE TO EXISTING GROUND AT 10 TO 1 OR TO NEAREST DRAINAGE OUTLET.
- ⑥ NO IRRIGATION SPRINKLER HEADS OR PIPING SHALL BE INSTALLED IN ANY AREA UNTIL FINAL GRADING IN THAT AREA HAS BEEN COMPLETED AND APPROVED BY SITEWORK ENGINEER.
- ⑦ DRILL 6" DEEP INTO EXISTING CONC. AT 12" O.C. AND INSERT #3 BAR X 18" LONG.
- ⑧ PROP. TO OVERLAY FLOOR OF CHUMPERT ENCLOSURE WITH AT LEAST 4" THICK 4000 PSI CONCRETE WITH #3 BAR AT 12" O.C. BOTH WAYS. SLOPE SURFACE AT 1% SLOPE TO DRAIN INTO VALLEY GUTTER. RAISE FRONT GATE AND SIDE DOOR AS NEEDED TO FUNCTION WITH RAISED FLOOR AND PAVEMENT. RESTORE ALL TO BETTER OR EQUAL EXISTING CONDITION.
- ⑨ PROP. TO REMOVE EXISTING PAVEMENT MATERIALS AND INSTALL 5" THICK 4000 PSI CONCRETE WITH #3 BAR AT 12" O.C. BOTH WAYS. SLOPE SURFACE AT 1% SLOPE TO DRAIN INTO VALLEY GUTTER. MOISTURE CONDITION AND COMPACT EXISTING SUBGRADE TO A MINIMUM 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D 698 AT MOISTURE CONTENTS RANGING FROM MINUS TWO (-2) PERCENTAGE POINTS BELOW OPTIMUM TO PLUS TWO (+2) PERCENTAGE POINTS ABOVE OPTIMUM. SURFACE OF SUBGRADE SHALL BE SMOOTH AND WELL COMPACTED AND FREE OF LOOSE MATERIAL AND CLODS.
- ⑩ SEE LANDSCAPE PLANS FOR PAVEMENT DETAILS.

LEGEND

- EXISTING NATURAL GROUND ELEVATION
- EXISTING PAVEMENT ELEVATION
- TOP OF SIDEWALK ELEVATION
- TOP OF PAVEMENT ELEVATION
- FINISHED GROUND SURFACE ELEVATION
- DIRECTION OF DOWNWARD SLOPE
- SURFACE SWALE

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PROJECT
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 CITY OF
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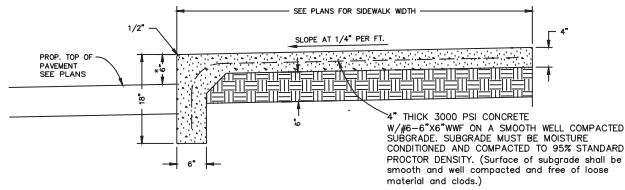
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REV 1	9-24-24	ADD. #3

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SHEET TITLE	

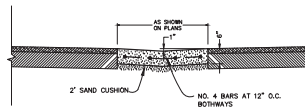
**PAVING AND
 GRADING
 PLAN**

SHEET NO.
C-3
 OF **C7**

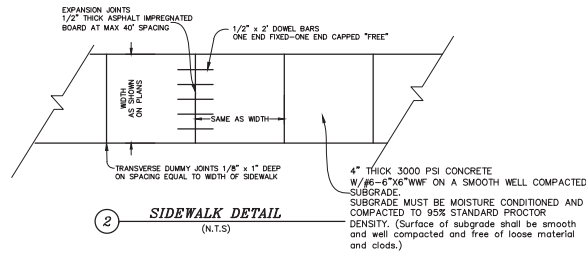
Mejia & Rose, Incorporated
 Engineering
 1648 West Price Road (956) 544-3052
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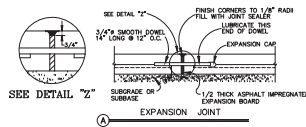
① **TURN-DOWN SIDEWALK**
SCALE: 1" = 1'
* UNLESS SHOWN OTHERWISE ON PLAN FOR RAMPS AND/OR TRANSITIONS



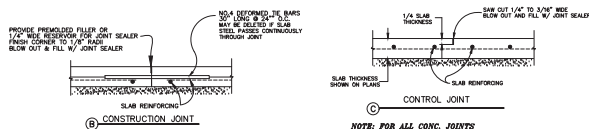
④ **CONCRETE VALLEY CUTTER**



② **SIDEWALK DETAIL**
(N.T.S.)



A **EXPANSION JOINT**
SAME FOR REINFORCED AND UNREINFORCED PAVEMENT AND CONCRETE SIDEWALKS (USE 1/2" DOWEL ON 4" THICK SIDEWALK)



NOTE: CONSTRUCTION JOINTS TO BE USED AT END OF EACH CONCRETE POUR

NOTE: FOR ALL CONC. JOINTS
JOINT SEALING COMPOUND SHALL BE A SINGLE COMPONENT, COLD APPLIED, SELF-LEVELING, PRESSURE GRADE EXPANSION JOINT SEALANT MEETING THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C-930 TYPE "C" GRADE "C" CLASS OR EQUIVALENT SL-3 SOMEONE OR APPROVED EQUAL.)

③ **CONCRETE PAVEMENT JOINTING DETAILS**

- ⓐ EXPANSION JOINT SPACING SHALL NOT EXCEED 75 FEET IN EITHER DIRECTION
- ⓑ CONSTRUCTION AND/OR Ⓒ CONTROL JOINT SPACING SHALL NOT EXCEED 15 FEET IN EITHER DIRECTION ON 6" CONCRETE PAVEMENT AND 12 FEET SPACING ON 5" CONCRETE PAVEMENT

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DETAILS

SHEET NO.

C-4
OF C7

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